

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39th AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
MAY 11, 2015**

AGENDA

1. Call to Order.
2. Roll Call.
3. Consider the minutes of the April 27, 2015 Plan Commission meeting.
4. Correspondence.
5. Citizen Comments.
6. New Business.
 - A. **PUBLIC HEARING AND CONSIDERATION OF A CONCEPTUAL PLAN** for the request of Mark Eberle, P.E. of Nielsen Madsen and Barber, agent for two (2) proposed multi-tenant retail buildings on the property generally located at the southeast corner of STH 50 (75th Street) and 94th Avenue within the Prairie Ridge development. ***(Requested by the petitioner to be tabled until the May 26, 2015 Plan Commission Meeting)***.
 - B. **PUBLIC HEARING AND CONSIDERATION OF A FLOODPLAIN BOUNDARY ADJUSTMENT** for the request of Matt Carey with Pinnacle Engineering Group, agent for Route 165, LLC owner of the property located at 12575 Uline Drive to remove 2,226 cubic yards from the 100-year floodplain and to create 3,795 cubic yards of 100-year floodplain to compensate for the 100-floodplain begin filled for the purpose of constructing a conference center between the Uline Corporate Office building and the easternmost warehouse building on the property. ***(Requested by the petitioner to be tabled until the June 8, 2015 Plan Commission Meeting)***.
 - C. Consider the request of Matt Carey with Pinnacle Engineering Group, agent for Route 165, LLC owner of the property located at 12575 Uline Drive for approval of **Preliminary Site and Operational Plans** for the grading of a portion of the property for the future construction of a conference center between the Uline Corporate Office building and the easternmost warehouse building on the property. ***(Requested by the petitioner to be tabled until the June 8, 2015 Plan Commission Meeting)***.
 - D. Consider the request of John Lass on behalf of LakeView XVI Venture LLC owners of the property located 11681 88th Avenue for **Site and Operational Plan** approval for the Prairie View Distribution Services (dba Midwest Refrigerated Services) to occupy the entire 411,000 square foot building for the warehousing of bottled beverages, canned cranberry sauce and jelly, and packaged Craisins.
 - E. Consider the request of Erik Waslrick on behalf of Jean and Norma Brown for approval of a **Certified Survey Map** to subdivide the property located at 2629 89th Street.
 - F. Consider the request of Ronald and Debra Hessil for approval of a **Lot Line Adjustment** to add 30.03 feet from the vacant property (owned by Associates LLC-William Kant agent) to the rear of the 3514 93rd Street property (owned by Daniel and Teresa Cole) and the 3516 93rd Street property (owned by Ronald and Debra Hessil).
7. Adjourn.

It is possible that members and possibly a quorum of members of other governmental bodies of the municipality may be in attendance in the above stated meeting to gather information; no action will be taken by any other governmental body except the governing body noticed above.

The Village Hall is handicapped accessible. If you have other special needs, please contact the Village Clerk, 9915 39th Avenue, Pleasant Prairie, WI (262) 694-1400.

**PLEASANT PRAIRIE PLAN COMMISSION MEETING
VILLAGE HALL AUDITORIUM
9915 39TH AVENUE
PLEASANT PRAIRIE, WISCONSIN
6:00 P.M.
April 27, 2015**

A regular meeting for the Pleasant Prairie Plan Commission convened at 6:00 p.m. on April 27, 2015. Those in attendance were Michael Serpe; Donald Hackbarth; Wayne Koessler; Deb Skarda (Alternate #2); Jim Bandura; Judy Juliana; and Bill Stoebig (Alternate #1). Thomas Terwall and John Braig were excused. Also in attendance were Michael Pollocoff, Village Administrator; Tom Shircel, Assistant Administrator; Jean Werbie-Harris, Community Development Director; and Peggy Herrick, Assistant Zoning Administrator.

- 1. CALL TO ORDER.**
- 2. ROLL CALL.**
- 3. CONSIDER THE MINUTES OF THE APRIL 13, 2015 PLAN COMMISSION MEETING.**

Don Hackbarth:

So moved.

Jim Bandura:

Second.

Michael Serpe:

MOTION MADE BY DON HACKBARTH AND SECONDED BY JIM BANDURA FOR APPROVAL OF THE APRIL 13TH PLAN COMMISSION MEETING. ALL THOSE IN FAVOR SAY AYE.

Voices:

Aye.

Michael Serpe:

Opposed? The ayes have it.

- 4. CORRESPONDENCE.**

5. CITIZEN COMMENTS.

Michael Serpe:

Since we have a crowded agenda tonight, we have one public hearing. And if anybody wishes to speak on that public hearing wait until it's called. If anybody wishes to speak on any other matter not on the agenda now is your opportunity to speak. Anybody wishing to speak?

6. NEW BUSINESS.

A. PUBLIC HEARING AND CONSIDERATION OF A CONCEPTUAL PLAN for the request of Jim Hooper, agent for Educators Credit Union to construct a full service Educators Credit Union on the vacant property generally located at the northeast corner of STH 50 and 91st Avenue.

Jean Werbie-Harris:

Members of the Plan Commission, the petitioner is requesting the approval of a conceptual plan for the proposed construction of a 7,280 square foot full service Educators Credit Union on the vacant property generally located at the northeast corner of Highway 50 and 91st Avenue in the Westfield Heights commercial area.

Educators Credit Union is a full service financial institution serving members in Southeast Wisconsin since 1937, offering savings and loan products as well as investment opportunities to individuals and small businesses. ECU is committed to educating and advising members of their options and helping them make sound financial decisions. Branch transactions range from quick deposits and payments to more comprehensive interactions such as loan applications and account openings.

Transactions will be conducted in person and with the branch staff for detailed situations such as purchasing certificates, processing loan applications and general account maintenance. Additionally, transactions such as deposits, payments and cash management will occur through interactive teller technology and video assisted transactions. These are terminals that look like ATMs but have a touch screen video for interacting with a teller located at ECU's home office in Mt. Pleasant. The drive thru terminals are the same ITM or inter active teller type and are both filled with cash by an armored car service.

The anticipated hours of operation, Monday through Friday 8 to 7, lobby only 9 to 5, and Saturday 8 through 3, lobby only 9 to noon. No regular scheduled shipments will be scheduled at this location although intermittent supply deliveries will occur as needed. Cash shipments and machine maintenance will be provided on site on an as needed basis which is anticipated to be no more than one to two times per week.

Total number of employees is anticipated to be six full-time employees. One shift will be run with four to six employees working during this shift. The maximum number of employees on the site at any time of the day would be eight to ten, which would include any maintenance employee or office staff temporarily assigned to this office.

There are 39 parking spaces provided including two handicapped accessible spaces. Pursuant to the ordinance the minimum number of parking spaces required is one for each 200 square feet of usable floor area, plus eight stacking spaces for the first drive-through window and six stacking spaces for each additional window; each waiting space shall measure not less than 20 feet in length, plus the required handicapped accessible spaces pursuant to the state code.

The anticipated daily average automobile trips to and from the site would be approximately 300 with a maximum potential of 700 on high volume transactional days. The potential maximum would not be expected until office has been established for about three to five years. These numbers are initially based on historical transactions from nearby locations and other new office trends.

The anticipated daily average number of truck trips to and from the site would be at most one per day; most weeks would have only two or three days where trucks would visit or deliver to the site. These deliveries would be for intermittent supply deliveries and armored and bonded cash delivery trucks. Each visit lasts approximately five to ten minutes.

Pursuant to the application the site and building will be monitored using video recording equipment through Exactvision. Recording and playback is monitored for functionality daily. Recorded video history for camera placements is stored for no less than 90 days. The building has a full alarm protection, burglar alarm with contactors, and motion sensors, fire alarm, and flow switch alarms on the sprinkler system, and elevator emergency phone monitoring which is being monitored 24/7 by Priority One. The development will be required to comply with the Village security ordinance which is Chapter 410 of our ordinance.

The onsite stormwater facility for this property is located to the northwest of this site and is included as part of the overall Westfield commercial development. As you can see by the conceptual plan on the screen, they have, again, access on 91st Avenue to the west. That entrance on 91st does line up with Goddard School to the north and to the west. And then 74th Street runs east/west, and they'll have a second access at that location. Currently the land to the north is vacant. So any access for future development to the north will have to line up with this 74th Street access that they have shown.

As you can see there is in and out traffic coming from the west, and if you're going to one of the interactive tellers you'd be circling around the building on the south side. You'd be going through one of the lanes, and then you'd be exiting to the north and then onto 74th Street. You could keep going around the building if you choose to if you needed to park and gain access to the bank.

What I wanted to do is just go through a couple of other things, the first of which is the conceptual building plan elevations. I also provided you with copies of the photographs that were just taken today actually at one of the other Educator Credit Union sites which is in the Milwaukee/Wauwatosa area off of Center Street. And it's almost going to be identical. A little bit taller and a little bit different in length a little bit, just very slightly different. But pretty much they're going to be using those same types of materials and the look and the feel for the Pleasant Prairie location.

So a couple of other things the first of which is a zoning map text amendment would be required along with site and operational plans and a conditional use permit. The current zoning of the property is B-2 (UHO), Community Business District with an Urban Landholding Overlay District. The proposed ECU is a permitted use in the B-2 District; however a conditional use permit will be needed before the Plan Commission in order to accommodate the proposed drive through which includes an ATM and the interactive teller technology for transactions.

A joint application for site and operational plans including a conditional use permit will need to be submitted, and the petitioner can address that that's going to be submitted shortly. Site and operational plans shall comply with all comments in the memo as well as all of the conditions and requirements as set forth in the Village zoning ordinance.

The property will be required to be rezoned from the B-2 (UHO) to the B-2 (PUD), Community Business District with a Planned Unit Development Overlay. Developing the property as a PUD will allow for more flexibility with some dimensional requirements of the Village zoning ordinance provided there is a defined benefit to the community. The Village staff will begin preparing the detailed PUD Ordinance for review by the petitioner once the Plan Commission and Board approve the conceptual plan for this project.

At this time the modifications from the zoning ordinance include, first the lot needs to be a minimum of 2 acres, but at this location it's only 1.47 acres. The second is to reduce the fire lane access around the south of the building from the required 30 feet to 20 feet. Again, in this particular case we'll have access around the entire perimeter of this building. And then, finally, to allow for an off premise unified business development sign for the other commercial development.

One of the things I just wanted to note at the very southwest corner over here is that because this is all part of that Westfield commercial area and there's going to be some buildings, either office or retail of some sort directly south, the developer has requested that there be an off premise sign similar to what we have in Prairie Ridge just to identify those uses in the back off of Highway 50. And we have been working with Bear Realty/Bear Development regarding the size and location of that sign. So as part of the community benefit two of the things that they are providing, one is the digital security imaging system, and the other is a fully equipped fire sprinkler system for this building.

With respect to public improvements and development agreement we do need to have some further discussion on this, but there are some public street trees, there's public sidewalk. So whenever we have some public amenities we typically enter into and in this case would be a very minor development agreement to make sure that there is security that is posted to complete these public improvements and that the improvements get completed in a timely manner prior to occupancy. And the staff comments go into some of the detail. Again, this will be something that they do as part of the construction so we'll need to get their contractors' estimates for any public improvements that need to be completed out there.

Briefly I just mentioned the digital security imaging system and agreement. Again, pursuant to Chapter 410 which is the security ordinance of the Village of Pleasant Prairie a DSIS is the security system that is required. It afford the opportunity for public safety departments such as the police and fire and rescue departments to visually examine commercial establishments and

their sites and will provide emergency response personnel with a visual assessment of any emergency situation in advance of arrival without placing an undue burden on the Village taxpayers.

So, again, the DSIS has become very critical for all of our commercial areas in the Village. And we've been working and having those installed throughout the community for a number of years now. Again, this will be a private system, so it will be owned and operated by Educators Credit Union. The Village will prepare the DSIS agreement and access easement for their review. And we will also work with them closely with respect to the security cameras and the implementation of that system. And, again, the Police Chief, myself and our IT individual, Ryan Marquart, will be working to put those systems together for accessibility for the Village.

The Westfield Heights Commercial Development PUD will be drafted by the staff and, again, once we have more detailed plans from them with respect to all of the specifics and to make sure there aren't any other modifications we will be working closely then to put that PUD together so we've got that as part of the Plan Commission and the Village Board's consideration.

One other thing I just wanted to mention is that, again, the existing stormwater management facility that was originally constructed by the previous developer kind of north and west of the site at this location was designed, this one and this one actually, were both designed to handle the stormwater from the Westfield Heights residential development as well as the area right here which is the Westfield Heights commercial development. Again, this is Highway 50, this is 88th Avenue, and this is 74th Street coming down to 91st Avenue and then to Highway 50.

And I talked through the different PUD modifications. This just helps and gives a little bit of a visual with respect to the lot area, the fire lane and as well as that off premise unified business development sign. Again, we still want to make sure that there's adequate location identification for the Educators sign. So I assume it might be someplace in this area. We did receive some detailed information from the Wisconsin Department of Transportation. And they have finished their 60 percent plan completion for the widening and improvement of Highway 50 which now looks to be closer to 2021, 2022.

But what we did find out from the state is that they're looking to request some type of temporary sloping easements and a little bit additional right of way. So with that information they will be able to put together a more detailed site and operation plan so that what we don't want to have happen is all the landscaping that they put in or the monument sign that they install that it has to be removed in six or seven years. And so we will work with them to make sure that that is carefully addressed when they decide to locate these improvements on their property.

And then the last thing I already mentioned the DSIS and the public benefit. With that I would like to introduce Jim from Educators Credit Union to make any further presentation or add any additional information.

Michael Serpe:

We'll just need your name and address for the record.

Jim Henderson:

Jim Henderson, 10115 West Three Mile Road, Franksville, Wisconsin, 53126. Thanks, Jean. Nice summary there. I wanted to give you just a brief overview of Educators that wasn't covered already, and then introduce you to our architect to give you a little more overview on the plan itself. As mentioned our Credit Union was started in 1937 by some Racine area teachers. We still serve as educational, government, healthcare employees, their families in seven counties in Southeast Wisconsin including Kenosha. We also service people that actually live or work in Kenosha County, too, so we'll be able to service the whole community.

We are a full service Credit Union, a whole array of deposit, loan and electronic services. And we also offer small business commercial accounts. We look to enrich and service our members' lives by offering competitive rates, low fees and financial educational resources and tools to help our members save time and money and to make more informed financial decisions. We currently have 18 offices in Southeast Wisconsin including two in Kenosha. One is at UW-Parkside, and one is on Highway 31 just south of Highway 142.

We take great pride in our buildings and maintaining quality service locations. They represent our five core values of honesty, integrity, respect, fairness and excellence. Our President is a big Frank Lloyd Wright fan, and he strongly believes that we have to have integrity both inside and outside our buildings. Our membership has grown to 130,000 members. We're at \$1.6 billion in assets, and we're looking to better service the Kenosha market with this office and become a partner with Pleasant Prairie. With that I'd like to introduce Vince who can highlight a little bit more of the plan itself.

Vince Milewski:

Thank you. Vince Milewski with Milwaukee Architects Planners. As Jim said the President of Educators is a fond aficionado of Frank Lloyd Wright architecture. And so this is the second prairie style Educators facility that I've designed for them. And what you'll see is there are basically no flat walls. It's undulating up and down and every which way. It has a very nice feel. I welcome you to please take a look at the photos. For materials we've got brick, stone, shingled roof, and we've got stained glass in the upper clear story windows and at the center area.

And we'd welcome you to visit the Educators at 62nd and Center Street. When you walk into it it's a very impressive facility. It's a very secure facility from the standpoint that you don't have tellers there. You have the interactive teller machines which is the future, and it's where banking is going to be going. If anyone has any questions regarding what we're proposing here building wise.

Michael Serpe:

We'll open up the public comment. If anybody has any questions we'll call you. Thank you.

Vince Milewski:

Great, thank you.

Michael Serpe:

This is a matter for public hearing. Anybody wishing to speak? Anybody wishing to speak? We'll close the public hearing and open it up to comments from the Commission.

Wayne Koessl:

Mr. Chairman, I think it's a good plan, and I see as long as it's a conceptual plan I'd like to see us move it forward, but we can ask questions. When do you think you'll be back with the final plans?

Vince Milewski:

We're looking at hoping to break ground in July or August. So we'll be back here shortly with the final plans.

Wayne Koessl:

Okay, fine.

Michael Serpe:

I had one question. Jean, did the fire department have any comment about the 20 foot access point around the building.

Jean Werbie-Harris:

They had some comments. I sat down with the Chief the other day just to make sure that he had no concerns. Again, we have that full access on the north side. And so because this is a one way going around on the south side and there's additional pavement because of the angled parking he was okay with the 20 foot.

Don Hackbarth:

Just a couple of comments. Is there a pond there, a collecting pond. I don't see it.

Jean Werbie-Harris:

Not on this site. These two ponds handle all the stormwater for this area and all of the stormwater for this area.

Don Hackbarth:

But there is a pond.

Jean Werbie-Harris:

There are two ponds actually.

Don Hackbarth:

Okay. Secondly, is 74th going to be complete all the way through to whatever that is, H, or is it already?

Jean Werbie-Harris:

It is complete now. I mean this is actually kind of a little bit busy. It's a busy little place right here right now. This is 88th Avenue or County Trunk Highway H.

Don Hackbarth:

Okay, last comment or question. When you look at that overview shot on the east side it has the teller windows. Generally doesn't the fire department like to have access all the way around a building?

Jean Werbie-Harris:

Depending on its size. Again, this building is less than 10,000 square feet. So as a result I mean he's even identified where his pumper pad and such would be located. But he can still take a movement all the way around, or he can just go all the way to the side on the west side, and then he can come in and out at either location if he needs to.

Don Hackbarth:

And they're skilled enough to get a truck backwards on a 20 foot wide thing in the back?

Jean Werbie-Harris:

Again, I sat down with the Fire Chief, and he felt very comfortable with this plan. Because typically a lot of plans like this don't even have this access road here at all. They are only serviced by this area. And so these are proposed to be 30 foot wide entrances at both locations, and then he has got adequate spacing right here in order to fight the fire. I don't know that he would actually bring a rig around the south side to be honest.

Jim Bandura:

Is there any leeway in case he has to go to 24 foot wide on that back aisle?

Jean Werbie-Harris:

Could we expand it? Yes, we could, but the Fire Chief was comfortable with 20 foot because it's a one way.

Michael Serpe:

Any other comments? What's your pleasure?

Don Hackbarth:

Move approval.

Judy Juliana:

Second.

Michael Serpe:

MOTION MADE BY DON HACKBARTH AND SECOND BY JUDY JULIANA FOR APPROVAL. ALL THOSE IN FAVOR SAY AYE.

Voices:

Aye.

Michael Serpe:

Opposed? The ayes have it. Looking for to it. Thank you.

7. ADJOURN.

Judy Juliana:

Move to adjourn.

Wayne Koessl:

Second, Chairman.

Michael Serpe:

Motion made and seconded to adjourn. All those in favor say aye.

Voices:

Aye.

Michael Serpe:

Opposed? The ayes have it. Thank you.

Meeting Adjourned: 6:24 p.m.

VILLAGE STAFF REPORT OF MAY 11, 2015

- A. **PUBLIC HEARING AND CONSIDERATION OF A CONCEPTUAL PLAN** for the request of Mark Eberle, P.E. of Nielsen Madsen and Barber, agent for two (2) proposed multi-tenant retail buildings on the property generally located at the southeast corner of STH 50 (75th Street) and 94th Avenue within the Prairie Ridge development.

Recommendation: The petitioner has requested that this item be tabled until the May 26, 2015 Plan Commission Meeting.

Jean Werbie-Harris

From: Mark Eberle <MEberle@nmbosc.net>
Sent: Thursday, May 07, 2015 10:30 AM
To: Jean Werbie-Harris
Cc: Andrew Prince (aprince@oldacremcdonald.com); John Flieg
Subject: Oldacre McDonald - Outlot 21 Multi-tenant Retail Submittal

Jean,

In an effort to keep the Village's normal submittals / approval process for this project and make it as convenient for your staff to do the reviews, the developer has requested that the Outlot 21 Conceptual Plan be pulled from Monday's agenda and moved to the next one.

That way they can continue to work with staff on the architecture and we can continue to refine the site plan / access points with the adjacent developers.

Thanks for all your assistance this one!!

Please confirm for us exactly what meeting agenda this will be moved to.

Thanks,

MARK D. EBERLE
Vice President

NIELSEN MADSEN & BARBER, SC
1458 Horizon Blvd, Suite 200
Racine, WI 53406

Phone: (262) 634-5588
Fax: (262) 634-5024

e.mail: meberle@nmbosc.net

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**THESE ITEMS ARE RELATED AND WILL BE DISCUSSED AT THE SAME TIME
HOWEVER SEPARATE ACTION IS REQUIRED.**

- B. **PUBLIC HEARING AND CONSIDERATION OF A FLOODPLAIN BOUNDARY ADJUSTMENT** for the request of Matt Carey with Pinnacle Engineering Group, agent for Route 165, LLC owner of the property located at 12575 Uline Drive to remove 2,226 cubic yards from the 100-year floodplain and to create 3,795 cubic yards of 100-year floodplain to compensate for the 100-floodplain begin filled for the purpose of constructing a conference center between the Uline Corporate Office building and the easternmost warehouse building on the property.

Recommendation: The petitioner has requested that this item be tabled until the June 8, 2015 Plan Commission Meeting.

- C. Consider the request of Matt Carey with Pinnacle Engineering Group, agent for Route 165, LLC owner of the property located at 12575 Uline Drive for approval of **Preliminary Site and Operational Plans** for the grading of a portion of the property for the construction of a conference center between the Uline Corporate Office building and the easternmost warehouse building on the property.

Recommendation: The petitioner has requested that this item be tabled until the June 8, 2015 Plan Commission Meeting.

Jean Werbie-Harris

Subject: FW: Uline reschedule plan commission meeting for Conf Center

From: Randy Copenharve [<mailto:RCopenharve@uline.com>]
Sent: Friday, May 08, 2015 8:59 AM
To: Jean Werbie-Harris
Cc: adam.artz@pinnacle-engr.com; Matt Carey; Angela Brzowski
Subject: Uline reschedule plan commission meeting for Conf Center

Jean,
After further discussion with Jockey this morning, we have decided to postpone our application for the Conference Center. We are currently scheduled to appear on May 11th and asking if we can move our review to the June 8th Plan Commission Meeting?

Please call me with comments or questions.



Randy Copenharve



262-612-4200 x5342



rcopenharve@uline.com

- D. Consider the request of John Lass on behalf of LakeView XVI Venture LLC owners of the property located 11681 88th Avenue for **Site and Operational Plan** approval for the Prairie View Distribution Services (dba Midwest Refrigerated Services) to occupy the entire 411,000 square foot building for the warehousing of bottled beverages, canned cranberry sauce and jelly, and packaged Craisins.

Recommendation:

Village staff recommends that the Plan Commission approve the **Site and Operational Plans** subject to the comments and conditions of the Village Staff Report of May 11, 2015.

VILLAGE STAFF REPORT OF MAY 11, 2015

Consider the request of John Lass on behalf of LakeView XVI Venture LLC owners of the property located 11681 88th Avenue for **Site and Operational Plan** approval for the Prairie View Distribution Services (dba Midwest Refrigerated Services) to occupy the entire 411,000 square foot building for the warehousing of bottled beverages, canned cranberry sauce and jelly, and packaged Craisins.

On May 12, 2014 the Plan Commission conditionally approved Site and Operational Plans for the development of LakeView South Lots 117 and 118, which included the construction of two (2) storm water facilities and the construction of two (2) industrial buildings--an approximate 521,000 square foot building and an approximate 412,000 square foot building and associated site improvements on each of the lots.

At this time the petitioner is requesting approval of Site and Operational Plans for Midwest Refrigerated Services (MRS) to occupy the entire building under construction at on Lot 118 located at 11681 88th Avenue.

Prairieview Distribution Services LLC (PVDS) is a subsidiary of Midwest Refrigerated Services (MRS) which currently operates two (2) distribution centers located in Pleasant Prairie. They are a contracted warehouse service provider with a focus on food products and food related goods (i.e. packaging materials, ingredients) in all temperature ranges. Their Pleasant Prairie business is ambient and air conditioned temperature warehousing of primarily bottled beverages, canned cranberry sauce and jelly, and packaged Craisins coming from the Ocean Spray plant located in the City of Kenosha and other plants in Wisconsin. They do not process food, nor do they own the inventories held in their warehouses, they simply receive and ship goods per their customer's direction.

The two (2) PVDS Pleasant Prairie locations are proposed to be consolidated into this one (1) new site, along with overflow inventories currently held at a remote site in Northern Illinois. The goal of consolidation into one (1) facility is attaining efficiencies of common space use and a common workforce rather than fractional work groups and people driving back and forth between facilities. Also, the new facility will have higher ceilings allowing for some improved racking capacity for pallet storage as compared to some of their current facilities better utilizing dock space and other common use space and eliminating redundant office and support areas. After they consolidate the three (3) facilities into one (1) building, they should have approximately a +15 - 20% capacity improvement for meeting their customer's growth.

The facility will operate 24 hours/day 7 days per week unless their customer(s) requirements allow for reduced operating hours during weekends and Holidays. The facility is not a retail operation open to the public as they are an industrial/wholesale style operation, shipping inventory to the retail and foodservice distributors who in turn sell these goods to consumers.

PVDS currently employs approximately 60 full time people and uses some seasonal and temporary staff for assembling Retail or Ready to Display (RTD) orders of inventory. The RTD assembly process at times requires additional staffing of 10 - 15 people supplied by temporary staffing agencies. The RTD process is simply moving consumer packed goods from wholesale case configurations into a variety of retail configurations commonly found in club stores or retail grocers.

PVDS will operate using three (3) shifts per day. The Monday through Friday daytime shift would include warehouse lift truck operators, office personnel and managers, RTD repack staffing of full time employees and temporary workers, for a total of approximately 30 - 45

people on site. The second shift would have approximately 10 – 20 people driving lift trucks and occasionally performing some RTD work. Third shift would have approximately 10 people driving lift trucks. Weekend shifts, when needed, are approximately 5 – 10 people driving lift trucks. Pursuant to the applicant, these jobs will be transferring from the other locations. There is planned growth that could result in the addition of five (5) more forklift operators in the next 12 months. PVDS intends to occupy this building by September 1.

Peak numbers of employees on site would occur during the Monday through Friday daytime shifts, with an average of approximately 30 – 35 people and seasonal peaks, or spot peaks, of approximately 45 people. Anticipated daily average and maximum potential number of automobile trips to and from the site (excluding trucks) is 60 average, 85 maximum. Anticipated daily average and maximum potential number of truck trips to and from the site is 75 average, 150 maximum. The site has adequate parking for this use.

Village staff recommends approval of the Site and Operational Plans subject to the above comments and the following conditions:

1. **This approval is valid for six months (until November 11, 2015). Prior to the expiration of the approval, all conditions of this approval shall be satisfied and permits shall be issued.**
2. **Compliance with the Site and Operational Plans as conditionally approved by the Plan Commission on May 12, 2014 related to the building shell and site improvements on this property.**
3. The plans have been reviewed for conformance with the Village Ordinances and generally accepted engineering practices and Village policies. Although the data has been reviewed, the design engineer is responsible for the thoroughness and accuracy of plans and supplemental data and for their compliance with all state and local codes, ordinances, and procedures. Modifications to the plans, etc. may be required should errors or changed conditions be found at a future date. **The following changes shall be made to the Site and Operational Plans and three (3) revised plans shall be submitted for final staff review and approval prior to issuance of any permits to commence interior modifications. In addition, these conditions shall be returned with notations in the margin as to how/where each comment was addressed.**
 - a. **Explain the** reason and function of the proposed gate(s) located at the back of the building. It is unclear what the function is since there does not appear to be a fully gated section of the lot.
 - b. The Engineering contacts on the cover sheet shall be updated.

Matt Fineour, P.E., Village Engineer
Office: 262-925-6778
Email: mfineour@plprairiewi.com

Kurt Davidsen, P.E., Assistant Village Engineer
Office: 262-925-6728
Email: kdavidsen@plprairiewi.com
4. Compliance with the **attached** memorandum from the Village Fire & Rescue Department dated May 7, 2015. **Please note that Condition #2 requires that a letter be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this memorandum. A copy of this letter shall also be provided to the Community Development Department.**

5. See **attached** comments from the Building Inspection Department dated may 8, 2015.
6. If the building colors are proposed to be modified, submit color samples for Village staff approval prior to changing the building colors.
7. **Upon approval of the revised Site and Operational Plans, and prior to the issuance of the required building, zoning and erosion control permits the following shall be submitted:**
 - a. An electronic pdf of the Final Site and Operational Plans.
 - b. The Commercial Building Permit applications (building, HVAC, plumbing, electrical etc.) and required State approved plans.
 - c. Erosion Control Permit application (for the on-site improvement modifications).
 - d. Fire compliance letter as referenced above.
 - e. Sign Permit application is required to be submitted for any exterior signage. The required primary monument sign shall be installed prior to occupancy of this building.
8. **General Comments**
 - a. Municipal connection fees shall be paid prior to the connections to the sanitary sewer system.
 - b. The hours of construction activity, operating heavy machinery or equipment associated with the grading, erosion control device installation, and overall site development shall be limited to Monday through Friday from 7:00 a.m. to 9:00 p.m. and Saturday and Sunday from 7:00 a.m. to 6:00 p.m., unless extended by Village permission
 - c. There shall be no construction parking permitted on 88th Avenue or 116th Street. On-site (off-street) parking shall be designed to accommodate all construction related workers and site visitors.
 - d. The site shall not be used for any parking (neither overnight nor during the day) of junked/inoperable/dismantled/unlicensed vehicles. All junked/inoperable/dismantled/unlicensed vehicles that are parked overnight will be issued citations.
 - e. The owner shall comply with all provisions of the Site & Operational Plan approvals, including compliance with the Village Performance Standards.
 - f. At no time shall the site be used to sell or advertise any vehicles that are "for sale".
 - g. No vehicular parking will be permitted in driveways, maneuvering lanes, fire lanes or on landscaped areas.
 - h. There shall be no outside banners, strings of pennants, flags, inflatable devices or streamers affixed or attached to the building(s), light poles, ground or landscaping, etc.
 - i. There shall be no long-term semi-truck/trailer or box truck parking permitted on the site that is not used in the daily operations of the facility.
 - j. There shall be no outdoor storage of raw materials or display of materials, goods or equipment on this site, unless as approved by the Village.

- k. The use of semi-trailers, storage units, storage bins, roll-off storage devices (e.g. P.O.D.S., S.A.M.S.) or other trucks, for storage purposes is prohibited. Outdoor storage of any materials, including but not limited to: raw materials, business supplies, pallets, crates, etc., is prohibited.
- l. No use shall be conducted in such a way as to constitute a public or private nuisance or to violate any of the performance standards set out in Section 420-38 of the Village Zoning Ordinance.
- m. Prior to occupancy each handicapped parking space shall be appropriately signed and painted on the pavement pursuant to ADA requirements.
- n. All exterior mechanical units, whether roof-mounted or ground-mounted, shall be screened from the general public's view.
- o. All signs shall comply with Article X of Chapter 420 of the Village Municipal Code. The signs shall not be located within any Village Easement but may be allowed within a Utility Easement with written approval from We Energies. A permit is required to be issued prior to installation of the primary monument sign, on-site directional signs, temporary development signs, real estate marking signs and wall signs.
- p. Prior to occupancy all required signage shall be installed per the approved plans and written verification from the sign installer shall be provided to the Village that the signage has been installed in accordance with the approved signage plan.
- q. Prior to occupancy all required landscaping shall be installed. In addition, a written letter of verification and certification shall be provided to the Village by the landscape designer that all building and signage landscaping has been installed in accordance with the approved landscape plan prior to the issuance of a certificate of compliance/occupancy.
- r. If weather conditions prevent installation of all or portions of the landscape materials, the owner or occupant shall enter into a written agreement with the Village that specifies the date by which all approved landscaping shall be completed and grants the Village a temporary easement to complete the landscaping if not timely completed and shall deposit with the Village Clerk a cash deposit, an irrevocable letter of credit, or other financial assurance approved by the Zoning Administrator to ensure timely completion of all required landscaping; the amount of the financial assurance shall be equal to 110% of the contracted amount to complete the landscaping improvements in order to reasonably compensate the Village for the cost of completion of any landscaping improvements not completed within the specified time.
- s. Prior to occupancy, three (3) copies of a site as-built plan, stamped by a Wisconsin Registered Land Surveyor, shall be submitted to the Village to verify that all impervious surfaces meet the minimum setbacks and that all signage and pavement markings were installed per the approved site plans and the grading of the site was completed pursuant to the approved Site and Operational Plans.
- t. Prior to occupancy, an As-built graphical data of all private sanitary sewer, water, and storm sewer facilities shall be provided to update the Village's Geographical Information System. Information shall conform to the Village's format requirements. In addition, a paper copy prepared and stamped by the Engineer of Record for the project shall be submitted.

- u. Prior to occupancy, a record drawing of the utility plans will be required to reflect actual construction records and utility alignments. Record drawing(s) of all water main(s), sanitary sewer(s), and storm sewer(s) shall be prepared by the Engineer of Record for the project.
- v. All Village fees incurred by the Village Engineer, Village Inspectors and/or expert Assistants required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.
- w. All Village fees incurred by the Village Community Development Department and/or expert Assistants required by the Village throughout the development process will be billed directly to the Developer. Such fees shall be paid in a timely manner.



VILLAGE STAFF MEMORANDUM

TO: Jean Werbie-Harris, Community Development Director
FROM: Doug McElmury, Chief Fire & Rescue Department
CC: Deputy Chief, Craig Roepke
Lt. Thomas Clark, Fire & Rescue Department
Peggy Herrick, Assistant Planner, Community Development
SUBJECT: Review of the Site and Operational Plan for a Tenant at Centerpoint 118.
DATE: 7 May 2015

This is a review of a tenant build out plan for Centerpoint 118, which will occupy the entire 411,203 sq. ft. building. Centerpoint 118 is located at 11681 88th Ave.

The facility will be classified under the Wisconsin Administrative Code, and the Wisconsin Commercial Building Code.

This facility will be classified as: Storage Group S-1 (Moderate Hazard) and Business Group B

The Fire and Rescue Department will be responsible for providing fire prevention inspections of these facilities, twice annually. The concerns of the Fire and Rescue Department are as follows:

1. **Distribution of Comments:** *the person who obtains the building permit to all Contractors and Subcontractors affected by this document shall distribute Copies of these comments. This document outlines critical times and deadlines. All recipients of this document need to become familiar with the contents.*
2. **Compliance:** A letter shall be submitted to the Fire & Rescue Department prior to receiving a building permit, stating that the project will comply with all requirements addressed within this document.
3. In the event a conflict in code(s) is identified, or a conflict with the insurance carrier criteria occurs, the more stringent shall apply. In the event this conflicts with any codes adopted by the State of Wisconsin, the owner must petition the State directly for a variance. The Owner must demonstrate that they will provide materials or design equivalent to the code or that they will exceed the code when petitioning the State.



4. This document addresses the needs of a new tenant of this building. In the event changes or modifications of the existing facility are necessary to the existing fire protection, fire alarm or other life safety features, the procedure for working with the Fire & Rescue Department can be found within this document.

Upon review of the plans submitted, we have the following concerns:

- **Fire hydrants:** Shall always be visible and accessible, in particular in any area where trailer trucks will be parked or staged.
- Truck staging shall not decrease the width of the fire lanes.
- **AED.** The owner shall install one or more public access Automatic External Defibrillator (AED) onsite for employee use in the event of a sudden cardiac arrest. The Fire and Rescue Department can provide the training necessary to perform CPR and to operate the AED.
- **Rack storage:** If it is the intent to use rack storage, that rack storage configuration must be reviewed by the fire protection contractor to assure adequate fire sprinkler protection. Rack storage shall not adversely affect the maximum exit distance requirements. This process needs to begin immediately to assure no interruption in the construction timeline and to assure the opening date will be met.
- The building will need to be re-evaluated in regards to fire and life safety protection, now that a tenant is under contract. A letter from a fire sprinkler design engineer will need to be submitted after the storage and manufacturing process is determined. The letter will need to address that the design capabilities of the fire sprinkler system will be adequate fire protection in accordance with current codes and ordinances.
- The interior build out will require evaluation of the sprinkler system in the event fire sprinkler protection needs revision or if additional sprinklers are needed.
- The interior build out will require evaluation of the fire alarm system in the event fire alarm system needs revision or if additional fire alarm devices are needed.

5. **Plan Review, Permits and Fees:** For any changes in the fire protection systems, five (5) sets of plans for the fire protection aboveground and fire alarm system shall be submitted for review a minimum of four (4) weeks before installation is scheduled to begin. The Village will use an independent fire safety consultant for the review of all fire protection plans submitted. A satisfactory review must be completed before any permits will be issued and before construction can begin.
6. **The following Fees and Permits are generated by the Fire & Rescue Department and payable at the Fire and Rescue Department, located at 8044 88th Avenue, Pleasant Prairie, WI 53158-2015 .**
 - Bulk Water
 - Water Usage
 - Fire Protection Plans for Underground and Aboveground
 - Fire Alarm System Plans
 - Kitchen Hood Systems Plans

Permit fees must be paid at time of submission for review. Work cannot begin until all permits have been issued. A typical review turnaround is four weeks.

7. **Required Licenses:** A Wisconsin licensed fire protection contractor and Wisconsin licensed sprinkler fitters must install underground fire mains and aboveground fire protection. Periodic inspections of the job site will be made by fire inspectors to assure compliance.
8. **Pre-Construction Meeting:** A pre-construction meeting shall take place with the general contractor, the fire protection contractor, the Fire & Rescue Department and any other sub-contractor prior to the installation of any underground fire protection. The purpose of this meeting is to assure that the requirements of the State of Wisconsin that only a Wisconsin licensed sprinkler fitter shall perform the installation of all devices, etc. All parties will be asked to initial this document and or permit. Any violation of the installing requirements will be reported in writing to the State of Wisconsin Department of Commerce.
9. **Sprinkler System:** The building is equipped with an “automatic fire sprinkler system”. The interior build out will require evaluation of the sprinkler system which may require additional sprinklers or systems added. The systems shall be designed and constructed to the current edition of NFPA 13, Automatic Fire Sprinklers and the Village of Pleasant Prairie Ordinance 180-16, Automatic Fire Sprinklers.
 - **Storage:** The Owner and Tenant both need to be aware of the restrictions that apply to the storage of pallets, cardboard, finished products, etc. Maximum height, width and aisle ways must be maintained and will be enforced. The same

concerns apply to the storage of large quantities of combustibles (plastics, plastic wrap and cardboard) such as those used in packaging and storage.

NOTE: Dependent upon storage configurations and the possible use of in rack storage; in rack sprinkler protection may be required.

10. **Fire Flow Tests:** A current water flow test results must be provided in the event changes are made to the existing fire protection sprinkler system. Fire protection contractors must schedule water flow tests with Pleasant prairie Water Utility Department by calling: 262-694-1403.

11. **Standpipes: In place at the existing building, all personnel doors will require standpipes.** At such time a portion of the building or the entire building is used for storage fire standpipes are required.

In lieu of 1.5 inch hose stations, the building shall be equipped with standpipes that shall consist of 2-½ inch NST valve, capable of delivering 250 GPM, at 75 PSI measured at the standpipe valve, when supplied by the fire department pumper, in the event no fire pump is needed. The standpipes shall be wet and placed adjacent to all exterior exit doors, same side as the door handle/knob.

12. **Strobe Light:** A strobe light shall be provided for each riser and installed vertically above each sprinkler water flow bell. The strobe light shall operate for a sprinkler water flow. The lens color shall be RED. The strobe light shall meet Village specifications as found in section 180-16 K of the Sprinkler Ordinance. **Already in place, additional risers will require additional strobe lights.**

13. **Fire Alarm System: The Fire Alarm System is already in place, modifications will require additional review of those changes.** The system shall be fully addressable so that detailed information can be received about the device in alarm. Utilizing a pull station, fire sprinkler water flow, or any other fire protection device that may be installed within these buildings shall activate the internal fire alarm system.

- a. **Manual Fire Alarm Pull Stations:** Shall be located at a minimum, immediately adjacent to each exterior door. Any additional exterior doors will be required to meet this requirement. The pull station shall not be placed in the area of the door, but immediately adjacent to the door jamb.
- b. **Pull Stations and Audiovisual Alarms:** Shall be installed per ADA requirements.
- c. **Smoke and Heat Detection:** Shall be installed as required.
- d. **Tamper Switches:** Tamper switches shall be placed on all sprinkler valves and be identified on the annunciator panel.

- e. **Fire Alarm Control Panel: Already in place.** The annunciator panel type shall be approved by the Fire & Rescue Department. The Fire Alarm Control Panel shall be located within the Fire Pump Room. The panel shall identify a fire sprinkler water flow by riser, and the specific locations of the fire alarm pull stations and any other fire detection devices that may be installed in this building.
- f. **Remote annunciator panel:** Will need to be placed within the building. A location will need to be determined.
- g. **Central Station:** The Fire Alarm Control Panel shall transmit all fire alarm, tamper, trouble and supervisory signals to a central station that is certified by Underwriters Laboratories (UL) and/or Factory Mutual (FM) and approved by the Fire & Rescue Department. The owner shall provide such documentation for approval. It is recommended that the owner consult with the Fire & Rescue Department prior to signing any contracts with the Central station.
 - 1) The central station shall be provided with this information regarding the geographical location of this alarm:

Village of Pleasant Prairie, County of Kenosha, State of Wisconsin
 Fire: Pleasant Prairie Fire & Rescue
 Medical: Pleasant Prairie Fire & Rescue
 Phone numbers:
Emergency: (262) 694-1402
 Non-emergency: (262) 694-7105
 Business: (262) 694-8027

- 14. **Knox Box: In Place. An onsite inspection after the tenant has occupied the structure will be needed to determine if additional Knox Boxes shall be provided.** The Knox Boxes shall be Model 4400. Two sets of all keys (Master, fire alarm pull station, annunciator, elevator, etc.) shall be placed within the box, as well as a copy of the pre-fire plan.
- 15. **Fire Extinguishers:** Shall meet NFPA 10 (Portable Fire Extinguishers) for the specific use of the building and be in sufficient number. Final approval, of fire extinguisher locations and quantity, will not be given until occupancy is taken, to see how a tenant furnishes the space. The company providing the fire extinguishers shall submit a letter to the Fire & Rescue Department stating the locations and size of the extinguishers are in compliance with NFPA 10.
- 16. **Emergency and Exit Lighting:** Exit and Emergency Lighting shall be provided and shall have battery backup. Combination units are acceptable and recommended. An Emergency Generator eliminates the need for battery backup. Exit and Emergency Lighting shall not be placed on electrical circuits that cannot be disturbed or interrupted, this is for test purposes. These circuits

shall be clearly labeled. **There are Exit and EM lights in place, however the placement will need to be re-evaluated once the new tenant has taken occupancy.**

17. **Final Inspection:** The General Contractor shall provide the following documentation to the Fire & rescue Department at the time the Final Inspection takes place and before a building occupancy certificate will be issued.
- a. The fire protection contractor shall provide the owner with a letter (upon completion of the sprinkler work) stating the sprinkler system, or portion thereof, is “100% operational and built according to the design”, Village Ordinance, 180-16 N.
 - b. Copy of contract with fire alarm central monitoring station.
 - c. Copy of UL and/or FM certificate(s) for the fire alarm central monitoring station.
 - d. Copies of the fire protection underground flushing documents.
 - e. Copies of the underground and fire sprinkler hydrostatic test certificates.
 - f. Copies of the fire sprinkler operational test certificates.
 - g. Copies of the fire alarm test documents.
 - h. Copies of other test documents such as, hood/duct, smoke, etc...
 - i. The Pleasant Prairie Fire and Rescue Department shall have all information needed for our pre-fire plan prior to occupancy.
 - j. Provide two- (2) CD's, one for the property owner and one for the Fire & Rescue Department. The disks shall include all Floor plans and fire protection plans for the building in an as-built condition.
 - k. Place of Refuge: The architect shall provide for both the Owner and the Fire & Rescue Department the area within the building that can be used as a “severe weather shelter” or “safe haven” during severe weather such as a tornado.
 - l. Knox System: A Knox System is in place that includes miniature vaults to hold the keys to the exterior and interior doors of the building. If any locks are changed or added, copies of the keys shall be placed within the Knox Box vaults. A Knox MSDS Box is located within the Fire Pump Room. Copies of all MSDS shall be given to the Fire & Rescue Department for inclusion within this Box.
 - m. Revised maps of the fire alarm and fire sprinkler system shall be placed in the fire pump room, near the fire alarm control panel; the maps shall be hung on the wall, with a waterproof covering and accessible to firefighters wearing bulky clothes and equipment.
 - n. AED, in place at such time a tenant takes occupancy.
 - o. Occupancy inspection fee and re-inspection fee will be assessed at the final inspection in accordance with ordinance 180-17.
18. **Occupancy:** All fire and life safety requirements must be in place prior to any building being occupied.

19. **Public Safety Radio Coverage:** Provide for adequate radio coverage to public safety service workers, including but not limited to firefighters, and law enforcement officers. For purpose of this section, adequate radio coverage shall include all of the following:
- a) a minimum signal strength of -98 dBm available in 95% of the area of each floor of the building when transmitted from the Public Safety Radio Communications System: and
 - b) a minimum signal strength of -98 dBm received at the Public Safety Radio Communications System when transmitted from 95% of the area of each floor of the building, via portable radio with public safety microphone.
 - c) Channel Performance Criterion (CPC): CPC is the minimum performance level in a faded channel, per TSB-88, clause 4.2. TSB-88 is a “Telecommunications Systems Bulletin” published by the TIA, Telecommunications Industry Association. The performance level is rated using “Delivered Audio Quality”. Industry standard DAQ definitions are shown in Table 1.
 - d) DAQ level of three (3) is the minimum performance level which shall be attainable by public safety radio systems in 95% of the area of each floor of a building, via portable radio with public safety microphone

Table 1 - Delivered Audio Quality Definitions

DAQ Delivered Audio Quality	Subjective Performance Description
1	Unusable, speech present but unreadable.
2	Understandable with considerable effort. Frequent repetition due to noise / distortion.
3	Speech understandable with slight effort. Occasional repetition required due to noise / distortion.
3.5	Speech understandable with repetition only rarely required. Some noise / distortion.
4	Speech easily understood. Occasional noise / distortion.
4.5	Speech easily understood. Infrequent noise / distortion.
5	Speech easily understood.

- e) The frequency range which must be supported shall be 151.0000 to 159.0000 MHz.

Testing Procedures:

- A. Initial Tests. Public safety employees or their designees will perform initial tests. A Certificate of Occupancy shall not be issued to any new structure if the building fails to comply with this section.
- B. Annual Tests. Fire Department personnel in conjunction with inspection procedures will conduct annual tests.

Amplification Systems Allowed

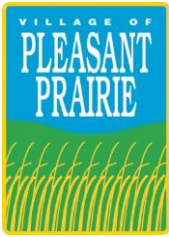
Buildings and structures which cannot independently support the required level of radio coverage shall be equipped with any of the following in order to achieve the required adequate radio coverage; a radiating cable system or an internal multiple antenna system with or without FCC typed-accepted signal booster amplifiers as needed. If any part of the installed system or systems contains electrically powered components, the system shall be capable of operating on an independent battery and/or generator system for a period of at least twelve (12) hours without external power input. Any battery system employed shall automatically recharge in the presence of an external power input.

The installation of equipment as indicated above cannot be detrimental to the operation of the Public Safety Radio system.

In the event that a signal booster is employed, it shall be fully encased within a dust and water resistant case.

Field Testing

20. Fire Department personnel, after providing reasonable notice to the owner or their representative, shall have the right to enter onto the property to conduct field-testing to be certain the required level of radio coverage is present



Village Staff Memorandum

To: Jean Werbie-Harris, Community Development Director
From: Sandro Perez, Building Inspection Superintendent
Subject: Midwest Refrigeration Service
Date: May 8, 2015

1. Building Inspection Department information:
Hours: Mon-Fri, 8am-5pm.
Phone# 262-694-9304
Email: buildinginspection@plprairiewi.com
2. Permit applications can be found online at pleasantprairieonline.com
3. Inspections are performed Mon- Fri 9am-4pm except electrical inspections; those are only Tue & Thu mornings. 48hr notice is required to schedule an inspection. Please note you must call and speak with a Building Inspection Department representative a voicemail or email will not constitute an inspection please plan accordingly. Final occupancy inspections require coordination with multiple departments and staff members there for a minimum of 72 hour notice is required. Any re-inspection fees due must be paid prior to scheduling a re-inspection.
4. All contractors requiring permits shall not commence work until permit issuance. We have 10 business days to review and issue permits please plan accordingly.
5. We inspect to the 2009 IBC, IEBC, IMC, IECC, IFGC, 2003 ANSI A117.1, 2011 NEC and WI. Plumbing code SPS 381-386.
6. All state approved drawing must be available at job site for inspector review.
7. Please submit emergency egress path / lighting plan and energy compliance worksheets form SBD 10512 to Building Inspection Department prior to issuance of building permit.
8. Any building fire protection loop and combination water main will require approval by the Fire Department prior to issuance of exterior plumbing permit.
9. VOPP recommends all exterior lot and building lighting to be LED and Dark Sky compliant with a color temperature between 4000K-5000K.
10. All equipment must be "LISTED" by a nationally recognized testing laboratory.

11. Documentation must be provided for available fault current at equipment, to verify short circuit current rating compliance per 2011 NEC 110.10
12. All equipment, materials, etc. must be rated for the environment in which they will be used.
13. Please comply with all requirement in IBC chapter 11(accessibility) and ANSI A117.1



**VILLAGE OF PLEASANT PRAIRIE
SITE AND OPERATIONAL PLAN
AND CONDITIONAL USE PERMIT ZONING APPLICATION**

USE THIS FORM FOR:
Tenants/Use changes proposing to occupy 50% or more of an existing commercial/industrial building.

To construct a **new** or addition to principal or accessory structure.

Use requires a Conditional Use Permit.

FOR OFFICE USE ONLY	
Application Filed on	20__
Preliminary Determination of Completeness on:	20__
Revised Plans Submitted:	20__
<input type="checkbox"/> Public Hearing Required: Hearing Date:	20__
Published on: _____ and _____,	20__ Notices sent on: _____, 20__
Approved by <input type="checkbox"/> Plan Commission on _____	20__
<input type="checkbox"/> Zoning Administrator on _____	20__
Denied by <input type="checkbox"/> Plan Commission on _____	20__
<input type="checkbox"/> Zoning Administrator on _____	20__

SECTION 1: GENERAL INFORMATION

NAME OF BUSINESS: Prairie View Distribution Services (d/b/a Midwest Refrigerated Services)

SITE ADDRESS: 11681 88th Avenue, Pleasant Prairie, WI

BRIEF PROJECT DESCRIPTION: Construction of a 411,000 SF warehouse facility for use by
Prairie View Distribution Services (Midwest Refrigerated Services)

PROPOSED NUMBER OF FULL TIME EMPLOYEES: 60

PROPOSED NUMBER OF PART-TIME EMPLOYEES: 15 part time temp workers as needed

SITE SIZE: 1,104,812 sq. ft. 25.36 acres

PROPOSED BUILDING SIZE: 411,203 sq.ft. **HEIGHT:** 40 ft.

PROPOSED ADDITION SIZE: N/A sq.ft. **HEIGHT:** N/A ft.

LEGAL DESCRIPTION: Lot 1 CSM No. 2770 recorded November 11, 2014 as document number 1737459, being a re-subdivision of CSM No. 2762 in the Northwest 1/4, Northeast 1/4, Southwest 1/4 and Southeast 1/4 on the Northwest 1/4 of Section 33, Town 1 North, Range 22 East, in the Village of Pleasant Prairie, Kenosha County, Wisconsin.

TAX PARCEL NUMBER(S) : 92-4-122-332-0107

CURRENT ZONING CLASSIFICATION(S) OF THE PROPERTY: M-2

1. Is a zoning map amendment proposed with this project? Yes No
 - If yes, proposed Zoning Classification(s): _____
2. Is a zoning text amendment proposed with this project? Yes No
 - If yes, provide a copy of the proposed text amendment with this application

3. If property is zoned M-1 or M-2, indicate the Occupancy Type pursuant to the Use and Occupancy Classification specified in Chapter 3 of the 2006 International Building Code (2006 IBC). Include all that apply and associated square footage for each classification:

- Factory Group F-1 (Moderate-hazard) _____ sq ft
- Factory Group F-2 (Low-hazard) _____ sq ft
- Storage Group S-1 (Moderate-hazard) 406,402 sq ft
- Storage Group S-2 (Low-hazard) _____ sq ft
- Business Group B 4,801 sq ft
- High-Hazard Group H* _____ sq ft
- Other _____ sq ft
- Other _____ sq ft

**If Use and Occupancy Classification is High-Hazard Group H please provide a detailed written narrative that explains the specific use, quantity of storage and handling of the high hazard materials along with appropriate MSSD sheets with this application.*

PUBLIC SERVICES:

1. Is the property serviced by Public Sanitary Sewer? YES NO
 - If no, the closest public sewer is located at _____
2. Is the property serviced by Public Water? YES NO
 - If no, the closest public water is located at _____
3. Maximum number of gallons/minute of water expected to be used per day is: _____.

THIS APPLICATION IS FOR A: (check one)

- Preliminary Site and Operational Plan:** An applicant may apply for preliminary site and operational plan approval in connection with an erosion control permit application for early mass grading, or in connection with an early foundation permit, or for other good cause shown
- New Site and Operational Plan**
- Amendment to an existing Site and Operational Plan**
 - Date of initial site and operational plan approval: May 12, 2014
 - Date of each approved amendment: _____

SECTION 2: EXISTING USES AND BUILDINGS ON THE SITE

Are there any existing buildings on the site? YES NO

- If yes, provide an attachment that explains the current uses on the property and current uses in each building and if the use(s) is proposed to continue; and the gross floor area and height of each building.
- If no, what is the current use of the property? New building under construction

SECTION 3: PHOTOGRAPHS

Standard-sized photographs (not Polaroid) showing all aspects of the site (e.g. locations of proposed improvements, bodies of navigable water, wetlands, wooded areas, etc.) and of the exterior of structures or other site improvements, together with a statement regarding each photograph, which includes the date the photograph was taken, the location from which it was taken, the direction in which the camera was pointed, and a description of what is shown in the photograph. With respect to all existing signs, the applicant shall file photographs of all existing signs and shall specify in the written statement accompanying each such photograph and show the dimensions of such sign. Digital images are acceptable.

SECTION 4: CONDITIONAL USE

1. **Does the proposed project require a Conditional Use Permit?** YES NO
 - **If no** then skip to Section 5.
 - **If yes**, then continue with this Section.
2. **Are you amending an existing Conditional Use Permit?** YES NO
 - **If yes**, provide a copy of the Conditional Use Grant Document you are proposing to amend.
 - **If no**, continue with this Section.
3. If you answered **YES** to either question 1 or 2 above then this application shall include information as to how the proposed project will not impair an adequate supply of light and air to adjacent properties; increase danger of fire; cause traffic congestion or traffic circulation problems; create storm water flooding or drainage; create obnoxious odors, problems or otherwise endanger the public health, safety or welfare; will not hinder, harm or distract the provision of public services; and that the proposed project is not inherently inconsistent with either the district in which it is located or adjoining districts or neighborhoods as required pursuant to the Village Zoning Ordinance.

SECTION 5: NON-CONFORMING USE

1. **Is any use on the site a nonconforming use?** YES NO
 - **If no**, then skip to Section 7.
 - **If yes**, then continue with this section.
2. If you answered **YES** to question 1 above, prima facie proof of each element of legal nonconforming use status shall be submitted to the Village with this application (i.e. that the nonconforming use was legal in its inception, that the use was active and actual and not merely casual, occasional, incidental or accessory when it became nonconforming, that the use has been continuous with no gap of 12 or more consecutive months since it became nonconforming, that no building or structure housing the nonconforming use has been structurally repaired or altered to the extent of fifty (50) percent or more of its assessed value since the use became nonconforming, and that the use has not been changed in nature or physically extended or expanded since becoming nonconforming).

SECTION 6: PERFORMANCE STANDARDS

Pursuant to the Village Zoning Ordinance, any application for a permit under this ordinance or any use subject to the regulations and standards set forth in the Village Zoning Ordinance shall be accompanied by a sworn statement by the owner of the subject property that said property and use will be operated in accordance with the performance standards set forth in Section 420-38 of the Village Ordinance. Continued compliance with the regulations and standards is required. Violations of such standards shall be remedied as required by the Village Zoning Ordinance.

No land or building in any district shall be operated in such a manner so as to create any dangerous, injurious, noxious or otherwise objectionable fire, explosive or other hazard; noise or vibration, smoke, dust, dirt or other form of air pollution; water pollution; electrical, radioactive or other disturbances; glare; or other substance, condition or element (referred to herein as "dangerous or objectionable elements") in such amount as to adversely affect the surrounding area or premises; provided that any use permitted by this ordinance may be undertaken and maintained if it conforms to the regulations of this subsection limiting dangerous and objectionable elements at the specified point or points of the determination of their existence.

The Village may require additional information be submitted to ensure that the Village Performance Standards are being met.

SECTION 7: PLAN COMPONENTS

The application shall include a list of all documents, materials or information that are attached to and a part of the application form. Submit eight (8) full-sized and one (1) set reduced to 11" x 17" of all plans and other attachments shall be included as part of this application, except if a component has been waived or deferred in writing by the Village Zoning Administrator. **For specific details related to each of the required information and plans see the attachment entitled "Plan Components and Related Standards" in Section 420-57 of the Village Zoning Ordinance.**


- Application—Applicant, Site, Use, Project and Plan Information
- Application fee
- Operational plan
- Title sheet
- Survey
- Site plan
- Grading and drainage plan
- Building and fire protection plans
- Lighting plan
- Landscape and open space plan
- Signage plan
- Industrial/commercial waste survey
- Performance standards compliance
- Additional requirements, as determined by the Village Zoning Administrator, other appropriate Village staff members, or the Village Plan Commission, as appropriate.

Two or more plans may be combined, provided that all of the information submitted on the combined plan is clearly legible, but in no case shall the combined plans fail to show any of the information required for each individual plan as described below, unless such information is waived or deferred pursuant to the Zoning Ordinance.


SECTION 8: SIGNATURES

I,(We), hereby certify that all the above statements and all attachments submitted herewith are true and correct to the best of my knowledge. In addition I, (we) understand the requirements and procedures for Site and Operational Plan/Conditional Use Permit approval.

PROPERTY OWNER:

Name: John Lass
(Please Print)
Signature: 
Address: 1808 Swift Drive
Oak Brook IL 60523
(City) (State) (Zip)
Phone: 630-586-8165
Fax: 630-586-8010
E-mail: jlass@centerpoint.com
Date April 22, 2015

APPLICANT:


Name: - same as Owner -
(Please Print)
Signature: 
Address: _____

(City) (State) (Zip)
Phone: _____
Fax: _____
E-mail: _____
Date: _____

Is the applicant the owner of the property? YES NO

If no, then either proof of the applicant's legal interest in the subject real property (e.g. accepted offer to purchase, lease, etc., which may be appropriately redacted to preserve confidential information) or written authorization signed by the owner for the applicant to act as the owner's agent in connection with the application shall be included with the application.

DEVELOPER (if Applicable)

Name: - same as Owner -
(Please Print)
Signature: 
Address: _____

(City) (State) (Zip)
Phone: _____
Fax: _____
E-mail: _____
Date _____

USER OR OCCUPANT OF SITE:

Name: Daniel Quinn
(Please Print)
Signature: 
Address: 11225 W. County Line Road
Milwaukee WI 53224
(City) (State) (Zip)
Phone: 414-410-8282 x. 8250
Fax: _____
E-mail: dan.quinn@midwestrefrigerated.com
Date: April 22, 2015

Operational plan.

(1) Operational plan requirements. The applicant shall prepare and file as part of the application for site and operational plan approval an operational plan which shall include at least the following information or materials:

(a) A detailed narrative description of the operations, processes and functions of the existing and proposed uses to be conducted in or on the real property constituting the site, together with any diagrams, maps, charts or other visual aids that are helpful in understanding the operations and any potential adverse impacts on neighboring properties.

Prairieview Distribution Services LLC (PVDS) is a subsidiary of Midwest Refrigerated Services (MRS) which currently operates two distribution centers located in the Village of Pleasant Prairie. We are a contracted warehouse service provider with a focus of food products and food related goods (i.e. packaging materials, ingredients) in all temperature ranges. Our Pleasant Prairie business is ambient and air conditioned temperature warehousing, of primarily bottled beverages, canned cranberry sauce and jelly, and packaged Craisins coming from the Ocean Spray plant located nearby in Kenosha and other plants in Wisconsin. We do not process food, nor do we own the inventories held in our warehouses, we simply receive and ship goods per our customer's direction.

(b) A detailed description of the proposed project or activity giving rise to the need for site and operational plan approval and a detailed explanation of how such project or activity relates to the site and to the existing or proposed operations to be conducted in or on the real property constituting the site.

The two PVDS Pleasant Prairie locations will be consolidated into this one new site, along with overflow inventories currently held at a remote site in Northern Illinois. The goal of consolidation into one facility is attaining efficiencies of common space use and a common workforce rather than fractional work groups and people driving back and forth between facilities. Also, the new facility will have higher ceilings allowing for some improved racking capacity for pallet storage as compared to some of our current facilities, as well as better utilization of dock space and other common use space and eliminating redundant office and support areas. When we consolidate the three facilities into one building, we should have approximately a +15 – 20% capacity improvement for meeting our customer's growth.

(c) Gross floor area of the existing building(s) and/or proposed addition.

The combined gross size of our current facilities is approximately 405,000 sq ft and the new facility will be approximately 410,000 sq ft.

(d) Anticipated hours of operation, hours open to the public, and hours of deliveries or shipments.

PVDS currently operates 24 hours/day 7 days per week unless our customer(s) requirements allow for reduced operating hours during weekends and Holidays. Our facilities are not a retail operation open to the public as we are an industrial/wholesale style operation, shipping inventory to the retail and foodservice distributors who in turn sell these goods to consumers.

(e) Anticipated startup and total number of full- and part-time employees.

PVDS currently employs approximately 60 full time people and uses some seasonal and temporary staff for assembling Retail or Ready to Display (RTD) orders of inventory. The RTD assembly process at times requires additional staffing of 10 – 15 people supplied by temporary staffing agencies. The RTD process is simply moving consumer packed goods from wholesale case configurations into a variety of retail configurations commonly found in club stores or retail grocers.

(f) Anticipated number of shifts and the anticipated number of employees per shift.

PVDS operates using three shifts per day. The Monday through Friday daytime shift would include warehouse lift truck operators, office personnel and managers, RTD repack staffing of full time employees and temporary workers, for a total of approximately 30 – 45 people on site. The second shift would have approximately 10 – 20 people driving lift trucks and occasionally performing some RTD work. Third shift would have approximately 10 people driving lift trucks. Weekend shifts, when needed, are approximately 5 – 10 people driving lift trucks.

(g) Anticipated maximum number of employees on site at any time of the day.

Peak numbers on site would occur during the Monday through Friday daytime shifts, with an average of approximately 30 – 35 people and seasonal peaks, or spot peaks, of approximately 45 people.

(h) Number of anticipated students, participants or persons to be gathered in places of assembly, if applicable.

None anticipated

(i) Number of parking spaces required per this chapter and the method used to calculate such number.

(j) Number of existing and proposed on-site parking spaces to be provided (conventional spaces and handicapped accessible spaces to be stated separately).

(k) Anticipated daily average and maximum potential number of automobile trips to and from the site (excluding trucks).

60 average, 85 maximum

(l) Anticipated daily average and maximum potential number of truck trips to and from the site.

75 average, 150 maximum

(m) Types and quantities of goods and materials to be made, used or stored on site.

Bottled beverages, canned cranberry sauce and jelly, Craisins, packaging materials

(n) Types of equipment or machinery to be used on site.

Electric Forklifts, stretch wrappers, floor sweeper/scrubber

(o) Types and quantities of solid or liquid waste materials which will require disposal.

General waste from offices, lunchroom, and some warehouse debris of wood pallet splinters, paper, and plastic

(p) Method of handling, storing and disposing of solid or liquid waste materials.

Compactor used for general waste. PVDS bundles and bales all plastic stretch wrap and cardboard for recycling

(q) Methods of providing site and building security other than the Village Police Department.

ADT security system monitoring and restricted ingress and egress points for employees or visitors to the site

(r) Description of the methods to be used to maintain all buildings, structures, site improvements and sites in a safe, structurally sound, neat, well cared for and attractive condition.

Facility will be maintained in accordance with customer and industry expectations for food grade facilities utilizing both internal resources and external vendors.

(s) Description of potential adverse impacts to neighboring properties or public facilities and measures to be taken to eliminate or minimize such adverse impacts.

Site activity concerns will be the car and truck traffic generating noise with the possibility of affecting a residential area to the South of the property, as well as exterior lighting features. The facility has significant landscape berms to the South and additionally has spacial separation from the residential area with the electrical utility transmission line right of way, adjoined by a natural area of trees, and followed by the site storm water retention pond, all which combine to buffer the site from the residential area. Exterior lighting features will be designed to minimize lighting

“trespass”. Automobile and truck activity on 88th Avenue will be moderately increased from levels already occurring at our facility a quarter mile to the North on 88th Avenue. To the West of this site is farm fields, to the Northwest, the North and the East of the facility, there are similar industrial facilities with similar automobile and truck traffic activities so there are no adverse impacts anticipated with those facilities.

(t) A list of all local, Kenosha County (highway access), State and federal permits or approvals required for the project or activity giving rise to the need for site and operational plan approval. Provide copies of such permits and approvals that have been obtained. [State and Village Building Permits](#). [Village erosion control permits, site and operational approval for the building itself](#). Approval from the WDNR and from the Army Corps for work associated with the wetlands on the south end of the site.

(2) Operational plan standards. In addition to any other applicable requirements or standards specified in this chapter, the following requirements or standards shall apply to the operational plan:

(a) No use shall be conducted in such a way as to constitute a public or private nuisance. [Agreed](#)

(b) No use shall be conducted in such a way as to violate any of the performance standards set out in § [420-38](#) of this chapter. [Agreed](#)

(c) (reserved)

(d) No owner, occupant or user of real property shall conduct a use so intensively that there is inadequate provision of on-site parking spaces and/or loading spaces to accommodate the needs of such use. [Agreed](#)

(e) All buildings, structures, site improvements and sites shall be maintained in a safe, structurally sound, neat, well cared for and attractive condition. [Agreed](#)

(f) Within a building, any provision of live entertainment in connection with a business or club use involving the selling or service of alcoholic beverages shall comply with the following restrictions: [All provisions of 2\(f\) are N/A](#)

[1] Live entertainment shall be provided only on a raised platform that is not less than 23 inches higher than the elevation of the surrounding floor surfaces where customers, members or their guests are sitting, standing or dancing;

[2] Customers, members or their guests shall at all times be separated from the raised platform on which live entertainment is being provided by a distance of not less than four feet and a physical barrier to mark and enforce such separation distance; and

[3] There shall be no touching of any kind between entertainers and customers, members or their guests.

(g) No proposed new or expanded use shall be permitted to create or significantly exacerbate unsafe traffic conditions on any street or highway in the Village. [Agreed](#)

(h) Indoor pyrotechnic displays are prohibited. [Agreed](#)

Return to: Katrina Karow
Kenosha Water Utility
4401 Green Bay Road
Kenosha, WI 53144
Email: kkarow@kenosha.org

Date Sent: _____

Date Due: _____

**VILLAGE OF PLEASANT PRAIRIE
INDUSTRIAL WASTE SURVEY**

To be submitted to the

Kenosha Water Utility

General Information

1. Facility Name: LakeView XVI - Lot 118 - LakeView Corporate Park
2. Mailing Address: 1808 Swift Drive
3. City, State, Zip Code: Oak Brook, IL 60523
4. Site Address: 11681 88th Avenue
5. Standard Industrial Classification Code (SIC): Storage S-1 and B
6. Name, Title and Telephone Number of the Authorized Representative and the Company Contact Person Responsible for Environmental Compliance.

Authorized Representative

Name: Dan Quinn

Title: Vice President of Warehousing

Phone #: 414-410-8282 x. 8250

Company Contact

Name: Joe Jardas

Title: General Manager

Phone #: 262-947-1090

The authorized representative must be a president, secretary, treasurer, or vice-president of the corporation in charge of a principle business function, or general partner or proprietor, or an individual designated by the aforementioned corporate official. The designated individual must meet the following criteria: (1) the person must be responsible for the overall operation of the facilities from which discharges originate, (2) the person is authorized in writing, and (3) the written authorization is submitted to the POTW.

7. List All Environmental Control Permits Held by or for the Facility.

N/A

Operational Characteristics

Up to 15 temp workers as

1. Existing Number of Employees: Full Time 60 Part Time needed

2. Operational Schedule: Days/Wk 7 Hours/Day 24 # Shifts 3

3. Describe the nature of the business conducted at this facility (if more than one type ,of business or manufacturing takes place, list all activities): General warehousing.

4. List principal raw materials used: N/A

5. List products produced and the average rate of production: N/A

6. List types of wastes created during production and any by-products produced: N/A

7. Estimate the quantity of water to be used by the facility during a six month period. Record the gallons of water anticipated by this facility. _____ gallons.

Indicate the source of the facility's water: Kenosha _____ Pleasant Prairie X

Meter number or address assigned to water meter(s). TBD

8. Type of discharges: Continuous X Batch _____

If batch was indicated, give the average frequency and approximate volume of any batch discharges: _____

9. Describe the uses of water at this facility: Plumbing fixture use and general cleaning (including floor scrubber).

Wastewater Information

1. A process wastewater IS any wastewater discharged other than for sanitary, non-contact cooling or boiler blow-down purposes. List activities which generate a process wastewater and the time and duration of each discharge.

Wastewater Producing Process

Time and Duration of Discharges

N/A

2. For each process wastewater stream list all the materials and pollutants which to believe may be present in the discharge.

N/A

3. Contact cooling water is cooling water that during the process comes into contact with process material, thereby becoming contaminated. Non-contact cooling water does not come into contact with process materials. Does this facility utilize cooling water? **No**

4. Water volume used and discharged to sanitary sewer. A review of previous water usage bills may be helpful in assigning values to the following flows. If sanitary flow is not metered, provide an estimate based on 20 gallons per day for each employee (i.e. water balance).

	Gallons per Day		Type of Wastewater Discharge (Continuous, Batch, None)
	Consumed	Discharges	
Sanitary Usage	<u>1200</u>	<u>1200</u>	<u>Continuous</u>
Process Wastewater Usage	<u>0</u>	<u>0</u>	<u></u>
Cooling Water Usage	<u>0</u>	<u>0</u>	<u></u>
Other Usage	<u>0</u>	<u>0</u>	<u></u>
Total Volume	<u>1200</u>	<u>1200</u>	<u></u>

5. Describe all locations where wastewaters enter the collection system Sanitary drains and fixtures
-

6. Is there a sampling manhole on site? No Yes X
 If yes, describe the locations: Northwest corner of the building.
-

7. Are sanitary and process wastewaters separated? No N/A Yes

8. Is boiler blowdown water discharged to the sanitary sewer? No N/A Yes

9. Does your facility haul any process wastewater? No N/A Yes

Compliance Information

1. Is there any usage of toxic compounds at the facility? No X Yes
 If yes, list and use check list on last page.

2. Are there any floor drains in the manufacturing or chemical storage area? No N/A Yes

3. Is there a Spill Prevention Control and Countermeasure Plan in effect for this facility?
 No X Yes If yes, describe procedure: N/A
-
-

5. Is any form of waste water pretreatment practiced at this facility? No X Yes _____
 If yes, describe: _____

6. List any specific pretreatment standards that apply to this facility: N/A

7. If pretreatment standards are not being met on a consistent basis, describe what additional and maintenance or pretreatment must be performed to achieve compliance.
N/A

8. State the estimated timetable (compliance schedule) for the implementation of additional operations and maintenance or for the commencement and completion of major events leading to the construction and operation of the pretreatment facilities required to achieve compliance.
N/A

Submissions

Include a schematic (print) of the facility that shows the water intake points(s), existing sanitary sewer, discharge points (connection(s) to sanitary collection system), and direction of wastewater flows at the facility. Provide a diagram of water flow through any processes that use water for any purpose.

Signatory Requirement

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate this information submitted. Based on my inquiry of the person or persons directly responsible for gathering the information, the information submitted is to the best of my knowledge and belief true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment.

DANIEL QUINN

Print Name: Authorized Representative

VICE PRESIDENT

Title



Signature: Authorized Representative

6-22-2015

Date

Appendix
Toxic Pollutants Listed in 40CFR 307(a)

Known Absent	Suspected Present	Known Present	Pollutant
			1 Acenaphthene
			2 Acrolein
			3 Acrylonitrile
			4 Aldrin/Dieldrin
			5 Antimony and compounds
			6 Arsenic and compounds
			7 Asbestos
			8 Benzene
			9 Benzidine
			10 Beryllium and compounds
			11 Cadmium and compounds
			12 Carbon tetrachloride
			13 Chlordane
			14 Chlorinated benzenes
			15 Chlorinated ethanes
			16 Chlorinalkyl ethers
			17 Chlorinated naphthalene
			18 Chlorinated phenols
			19 Chloroform
			20 2-chlorophenol
			21 Chromium and compounds
			22 Copper and compounds
			23 Cyanides
			24 DDT and metabolites
			25 Dichlorobenzenes
			26 Dichlorobenzidine
			27 Dichloroethylenes
			28 2,4-dichlorophenol
			29 Dichloropropane & Dichloropropene
			30 2,4-dimethylphenol
			31 Dinitrotoluene
			32 Diphenylhydrazine
			33 Endosulfan and metabolites

Known Absent	Suspected Present	Known Present	Pollutant
			34 Endrin and metabolites
			35 Ethylbenzene
			36 Fluoranthene
			37 Haloethers
			38 Halomethanes
			39 Heptachlor and metabolites
			40 Hexachlorobutadiene
			41 Hexachlorocyclopentadiene
			42 Hexachlorocyclohexane
			43 Isophrone
			44 Lead and compounds
			45 Mercury and compounds
			46 Naphthalene
			47 Nickel and compounds
			48 Nitrobenzene
			49 Nitrophenols
			50 Nitrosamines
			51 Pentachlorophenol
			52 Phenol
			53 Phthalate esters
			54 Polychlorinated biphenyls (PCBs)
			55 Polynuclear aromatic hydrocarbon
			56 Selenium and compounds'
			57 Silver and compounds
			58 2,3,7,8-Tetrachlorodibenzo- p-dioxin (TCDD)
			59 Tetrachloroethylene
			60 Thallium and compounds
			61 Toluene
			62 Toxaphene
			63 Trichloroethylene
			64 Vinyl chloride
			65 Zinc and compounds

MRS TENANT IMPROVEMENT

11681 88TH AVENUE PLEASANT PRAIRIE, WISCONSIN



PROJECT DATA

APPLICABLE CODES:
INTERNATIONAL BUILDING CODE - 2009 AS MODIFIED BY THE WISCONSIN ENROLLED COMMERCIAL BUILDING CODE IN CHAPTER SPS 362.

BUILDING CLASSIFICATION:
FACTORY-INDUSTRIAL:
F-1 (MODERATE HAZARD)
STORAGE:
S-1 (MODERATE HAZARD)

CONSTRUCTION CLASSIFICATION:
TYPE 2B - UNPROTECTED W/ AUTOMATIC SPRINKLER SYSTEM

BUILDING AREA:
41,003 SF.

TENANT OFFICE AREA:
4,805 SF.

PROJECT DEVELOPMENT DATA:

PROPOSED LAKEVIEW LOT 18:	M-2 GENERAL MANUFACTURING DISTRICT
SITE ZONING:	25.36 ACRES (104,812 SF) 41,003 SF
SITE AREA:	
BUILDING AREA:	41,003 SF
BLDG COVERAGE RATIO:	348,384 SF
BUILDING IMPERVIOUS AREA:	19,987 SF
ALL OTHER IMPERVIOUS AREA:	68.8%
TOTAL IMPERVIOUS PERCENTAGE:	344,815 SF
GREENSPACE COVERAGE RATIO:	31%
TOTAL LANDSCAPED AREA:	
PARKING:	231 SPACES
TOTAL CAR SPACES (INCLUDING HANDICAPPED):	48 DOCK LOCATIONS
TOTAL TRUCK DOCK SPACES:	61 TRAILER SPACES
TOTAL TRAILER (OFF-BUILDING) SPACES:	

OWNER:
CENTERPOINT PROPERTIES
808 SUITE DR
OAK BROOK, IL 60521-1501
PHONE: 630.586.8000
ATTN: JOHN LASS



ARCHITECT:
PARTNERS IN DESIGN ARCHITECTS
2610 LAKE COOK ROAD, SUITE 200
RIVERFOODS, ILLINOIS 60075
PHONE: 847.940.0320
ATTN: WERNER BRISKE, AIA
OR
JEREMY HALL, AIA



CIVIL ENGINEER:
PINNACLE ENGINEERING GROUP
8650 W BLUEMOUND ROAD, SUITE 310
BROOKFIELD, WISCONSIN 53005
PHONE: 262.793.8888
FAX: 262.794.8850
ATTN: ADAM ARTZ, P.E.



GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL FIELD VERIFY AND BECOME THOROUGHLY FAMILIAR WITH ALL CONDITIONS AND DIMENSIONS.
- EACH CONTRACTOR SHALL REVIEW COMPLETE PLANS FOR RELATED WORK.
- ALL WORK SHALL BE IN COMPLIANCE WITH STATE AND LOCAL CODES FOR RESPECTIVE TRADES.

SHEET INDEX

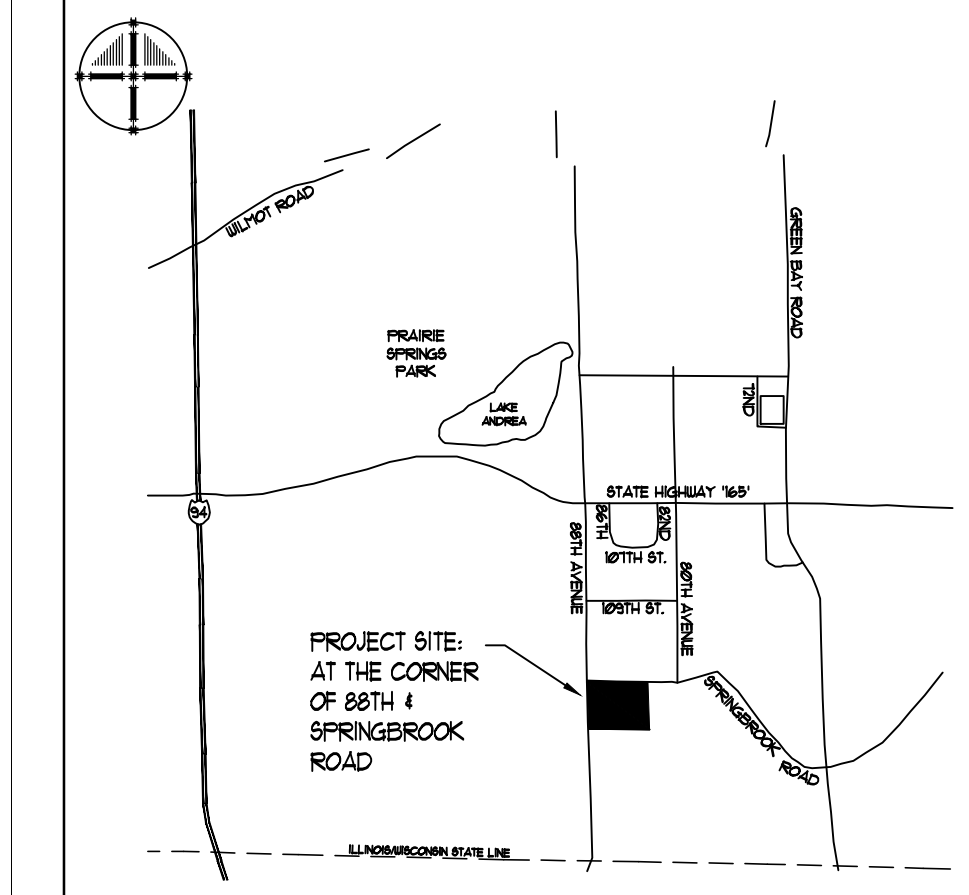
TI TITLE SHEET

CIVIL
C-1 COVER SHEET
C-5 SITE AND DIMENSIONAL PAVING PLAN
C-9 GRADING PLAN
C-13 UTILITY PLAN
C-11 SITE STABILIZATION AND EROSION CONTROL
C-22 CONSTRUCTION DETAILS

LANDSCAPE
L1 LANDSCAPING PLAN

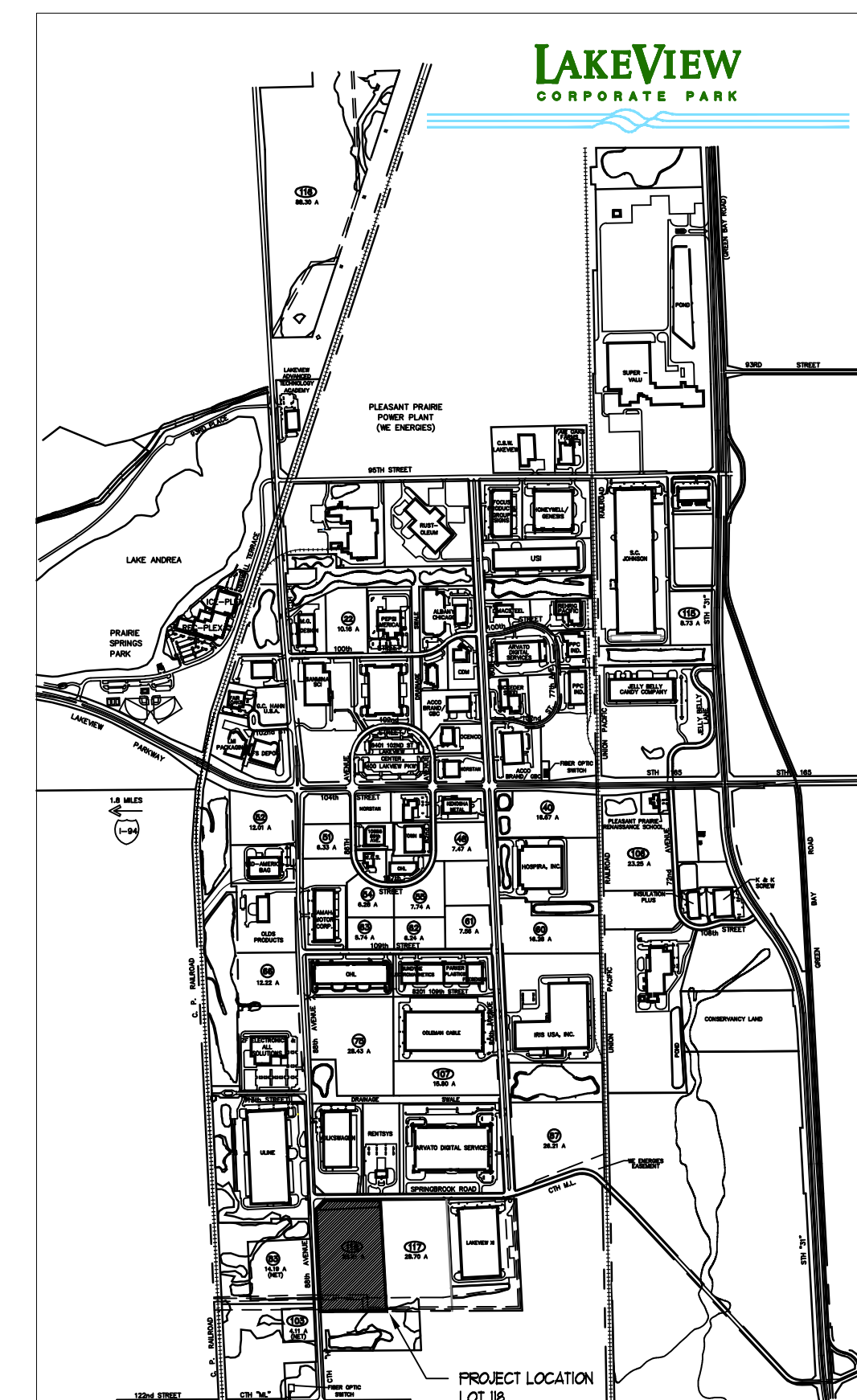
ARCHITECTURAL
A1 SITE PLAN
A3 FLOOR PLANS
A3 ENLARGED FLOOR PLANS
A4 ELEVATIONS

LOCATION MAP



REVISIONS

NO.	DATE	DESCRIPTION



GOVERNING AGENCY CONTACTS

PLEASANT PRAIRIE VILLAGE HALL
995 39TH STREET
PLEASANT PRAIRIE, WI 53156
OFFICE: 262.654.1400

COMMUNITY DEVELOPMENT DEPARTMENT
JEAN UEBERLE-HARRIS
- COMMUNITY DEVELOPMENT DIRECTOR
PLANNER & ZONING ADMINISTRATOR
OFFICE: 262.925.6718
EMAIL: juerie-harris@pprairie.wi.gov

PEGGY HERRICK
- ASSISTANT PLANNER & ZONING ADMINISTRATOR
OFFICE: 262.925.6716
EMAIL: pherrick@pprairie.wi.gov

ENGINEERING DEPARTMENT
MICHAEL SPENCE
- VILLAGE ENGINEER
OFFICE: 262.948.8931
EMAIL: mspence@pprairie.wi.gov

MATT FINEOUR
- ASSISTANT VILLAGE ENGINEER
OFFICE: 262.925.6718
EMAIL: mfineour@pprairie.wi.gov

STEVE ULAHOVICH
- ENGINEERING TECHNICIAN
OFFICE: 262.925.6761
EMAIL: sulahovich@pprairie.wi.gov

BUILDING INSPECTION DEPARTMENT
SANDRO PEREZ
- INSPECTION SUPERINTENDENT
OFFICE: 262.654.9304
DIRECT: 262.925.6722
EMAIL: sperez@pprairie.wi.gov

RALPH NICHOLS
- SENIOR BUILDING INSPECTOR/ DEPUTY ZONING ADMINISTRATOR
OFFICE: 262.654.9304
EMAIL: rnichols@pprairie.wi.gov

DONALD KOSINE
- BUILDING INSPECTOR
OFFICE: 262.654.9304
EMAIL: dkosine@pprairie.wi.gov

FIRE & RESCUE DEPARTMENT
DOUG McELHARRY
- FIRE & RESCUE CHIEF
8044 88TH AVENUE
OFFICE: 262.654.8671
EMAIL: fireandrescue@pprairie.wi.gov

CRAIG ROEPKE
- FIRE & RESCUE DEPUTY CHIEF
OFFICE: 262.948.8931
EMAIL: croepke@pprairie.wi.gov

THOMAS CLARK
- FIRE & RESCUE LIEUTENANT
DIRECT: 262.948.8931
EMAIL: tclark@pprairie.wi.gov

PUBLIC WORKS DEPARTMENT
JOHN STENBERG, JR.
- SUPERINTENDENT
ROGER PRANGE MUNICIPAL BUILDING
26000 GREEN BAY ROAD
OFFICE: 262.925.6768
EMAIL: jstenberg@pprairie.wi.gov

ELAINE JOHNSON
- WATER RESOURCE SPECIALIST
OFFICE: 262.884.2156
EMAIL: elaine.johnson@wisconsin.gov

FETER WOOD
- WATER RESOURCES ENGINEER
OFFICE: 262.884.2160
EMAIL: peter.wood@wisconsin.gov

PUBLIC UTILITY CONTACTS

AMERICAN TRANSMISSION COMPANY
ERIAN TEGEE
- SUPERINTENDENT
OFFICE: 262.506.6995
EMAIL: erian.tegee@atco.com
EMERGENCY NUMBER: 800.972.5341

WISCONSIN D.O.T.
SOUTHEAST REGION
OFFICE: 414.266.1611

AT&T
MIKE TOTEK
OFFICE: 262.636.8549
EMAIL: mt134@att.com

TD5 TELECOM
SOUTH-EAST WISCONSIN
OFFICE: 877.483.742

THE WARNER CABLE
STEVE CRAYER
- UTILITY COORDINATOR
OFFICE: 414.771.4045
EMAIL: steve.crayer@warnercable.com
EMERGENCY NUMBER: 800.612.2286

WE-ENERGIES
LINDA SCHREIER
KENDOSHA SOUTH
OFFICE: 262.950.3728
EMAIL: linda.schreier@we-energies.com

NATURAL GAS EMERGENCY:
800.261.5325

ELECTRICAL EMERGENCY:
800.662.1751



PROJECT NUMBER:
437.15.050
DATE: APRIL 24, 2015

SITE AND OPERATIONAL SET

ONSITE CIVIL ENGINEERING INFRASTRUCTURE PLANS

FOR

LOT 118 AT LAKEVIEW CORPORATE PARK

PLEASANT PRAIRIE, WISCONSIN

PLANS PREPARED

FOR

CENTERPOINT WISPARK LAND CO II, LLC

DEVELOPMENT DATA	
SITE AREA:	25.36 AC (1,104,812 S.F.)
BUILDING AREA:	9.41 AC (409,766 S.F.)
PARKING LOT IMPERVIOUS AREA:	6.18 AC (269,410 S.F.)
OTHER IMPERVIOUS AREAS:	2.13 AC (92,883 S.F.)
GREENSPACE:	7.65 AC (336,620 S.F.)
PERCENTAGE GREENSPACE:	30.2%
TOTAL CAR PARKING SPACES:	223 SPACES (9 A.D.A.)
TOTAL TRUCK DOCK SPACES:	96 SPACES
TOTAL TRAILER PARKING SPACES:	62 SPACES
ZONING DISTRICT DESIGNATION:	M-2

8

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C-2	EXISTING CONDITIONS
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C-15 - C-18	SITE STABILIZATION & EROSION CONTROL
C-19 - C-22	CONSTRUCTION DETAILS

REVISION 8 SHEET INDEX	
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C-22	CONSTRUCTION DETAILS

8

LEGEND		
	EXISTING	PROPOSED
SANITARY SEWER MANHOLE	⊙	⊙
STORM SEWER MANHOLE	⊙	⊙
STORM SEWER AREA DRAIN	—	—
STORM SEWER INLET (ROUND CASTING)	○	○
STORM SEWER INLET (RECTANGULAR CASTING)	□	□
PRECAST FLARED END SECTION	∧	∧
CONCRETE HEADWALL	—	—
AIR RELEASE ASSEMBLY	⊗	⊗
VALVE BOX	⊕	⊕
FIRE HYDRANT	⊕	⊕
BUFFALO BOX	⊕	⊕
CLEANOUT	⊕	⊕
SANITARY SEWER	—	—
FORCE MAIN	—	—
STORM SEWER	—	—
DRAIN TILE	—	—
WATER MAIN	—	—
UTILITY CROSSING	—	—
LIGHTING	⊕	⊕
ELECTRICAL CABLE	—	—
OVERHEAD WIRES	—	—
CAUTION EXISTING UTILITIES NEARBY	—	⚠
ELECTRICAL TRANSFORMER OR PEDESTAL	⊕	⊕
POWER POLE	⊕	⊕
POWER POLE WITH LIGHT	⊕	⊕
STREET SIGN	⊕	⊕
GAS MAIN	—	—
TELEPHONE LINE	—	—
CONTOUR	—	—
SPOT ELEVATION	×	×
WETLANDS	—	—
FLOODWAY	—	—
FLOODPLAIN	—	—
HIGH WATER LEVEL (HWL)	—	—
NORMAL WATER LEVEL (NWL)	—	—
DIRECTION OF SURFACE FLOW	→	→
DITCH OR SWALE	—	—
DIVERSION SWALE	→	→
OVERFLOW RELIEF ROUTING	→	→
TREE WITH TRUNK SIZE	⊕	⊕
SOIL BORING	⊕	⊕
TOPSOIL PROBE	⊕	⊕
FENCE LINE, TEMPORARY SILT	—	—
FENCE LINE, WIRE	—	—
FENCE LINE, CHAIN LINK OR IRON	—	—
FENCE LINE, WOOD OR PLASTIC	—	—
CONCRETE SIDEWALK	—	—
CURB AND GUTTER	—	—
DEPRESSED CURB	—	—
REVERSE PITCH CURB & GUTTER	—	—
EASEMENT LINE	—	—



PROJECT LOCATION

LOCATION MAP
SCALE: NTS

BENCHMARKS	
	BM 1: TOP OF NW FLANGE BOLT ELEVATION= 695.33
	BM 2: SW FOOTING CHIESELED BOX ELEVATION= 691.17
	BM 3: SECTION CORNER BRASS CAP ELEVATION= 684.91
	BM 4: RAILROAD SPIKE WEST SIDE OF POLE ELEVATION= 691.91
VERTICAL DATUM: NGVD 29 HORIZONTAL DATUM: NORTH AMERICAN DATUM OF 1927	

PROJECT TEAM CONTACTS	
CIVIL ENGINEER: ADAM ARTZ, P.E. PINNACLE ENGINEERING GROUP 15850 BLUEMOUND ROAD, SUITE 310 BROOKFIELD, WI 53005 (262) 754-8888	SURVEYOR: CHAPUT LAND SURVEYS 234 W. FLORIDA STREET MILWAUKEE, WI 53204 (414) 224-8068
APPLICANT: CENTERPOINT WISPARK LAND CO II, LLC 1808 SWIFT DRIVE OAK BROOK, IL 60523 (630) 586-8000	LANDSCAPING: KENOSHA GROUNDS CARE 8300 88TH AVE PLEASANT PRAIRIE, WI 53158 (262) 694-8960
ARCHITECT: PARTNERS IN DESIGN ARCHITECTS 2610 LAKE COOK ROAD, SUITE 280 RIVERWOODS, IL 60015 (847) 940-0300	SITE LIGHTING: ROMAN ELECTRIC 640 S. 70TH ST MILWAUKEE, WI 53214 (414) 771-5400

ABBREVIATIONS			
BL	BASE LINE	NWL	NORMAL WATER LEVEL
C	LONG CHORD OF CURVE	PC	POINT OF CURVATURE
C & G	CURB AND GUTTER	PT	POINT OF TANGENCY
CB	CATCH BASIN	PVI	POINT OF VERTICAL INTERSECTION
CL	CENTERLINE	R	RADIUS
D	DEGREE OF CURVE	ROW	RIGHT-OF-WAY
EP	EDGE OF PAVEMENT	SAN	SANITARY SEWER
FF	FINISHED FLOOR	ST	STORM SEWER
FG	FINISHED GRADE	T	TANGENCY OF CURVE
FL	FLOW LINE	TB	TOP OF BANK
FP	FLOODPLAIN	TC	TOP OF CURB
FR	FRAME	TF	TOP OF FOUNDATION
FW	FLOODWAY	TP	TOP OF PIPE
HWL	HIGH WATER LEVEL	TS	TOP OF SIDEWALK
INV	INVERT	TW	TOP OF WALK
L	LENGTH OF CURVE	WM	WATER MAIN
MH	MANHOLE	Δ	INTERSECTION ANGLE

GENERAL NOTES	
1.	THE INTENTION OF THE PLANS AND SPECIFICATIONS IS TO SET FORTH PERFORMANCE AND CONSTRUCTION MATERIAL STANDARDS FOR THE PROPER EXECUTION OF WORK. ALL WORKS CONTAINED WITHIN THE PLANS AND SPECIFICATIONS SHALL BE COMPLETED IN ACCORDANCE WITH ALL REQUIREMENTS FROM LOCAL, STATE, FEDERAL OR OTHER GOVERNING AGENCY'S LAWS, REGULATIONS, JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., AND THE OWNER'S DIRECTION.
2.	TWO GEOTECHNICAL EXPLORATION REPORTS HAVE BEEN PREPARED BY TERRACON (DATED MAY 30, 2003) (AMENDED MAY 02, 2005) AND PIONEER ENGINEERING & ENVIRONMENTAL SERVICES, INC. (DATED JULY 21, 2006). FOR THE PROJECT SITE, THE DATA ON SUB-SURFACE SOIL CONDITIONS IS NOT INTENDED AS A REPRESENTATION OR WARRANTY OF THE CONTINUITY OF SUCH CONDITIONS BETWEEN BORINGS OR INDICATED SAMPLING LOCATIONS. IT SHALL BE EXPRESSLY UNDERSTOOD THAT OWNER WILL NOT BE RESPONSIBLE FOR ANY INTERPRETATIONS OR CONCLUSIONS DRAWN THERE FROM BY THE CONTRACTOR. DATA IS MADE AVAILABLE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL SOILS INVESTIGATIONS THEY FEEL IS NECESSARY FOR THE PROPER EVALUATION OF THE SITE FOR PURPOSES OF PLANNING, BIDDING, OR CONSTRUCTING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
3.	THE CONTRACTOR IS RESPONSIBLE TO REVIEW AND UNDERSTAND ALL COMPONENTS OF THE PLANS AND SPECIFICATIONS, INCLUDING FIELD VERIFYING SOIL CONDITIONS, PRIOR TO SUBMISSION OF A BID PROPOSAL.
4.	THE CONTRACTOR SHALL PROMPTLY REPORT ANY ERRORS OR AMBIGUITIES LEARNED AS PART OF THEIR REVIEW OF PLANS, SPECIFICATIONS, REPORTS AND FIELD INVESTIGATIONS.
5.	THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE COMPUTATION OF QUANTITIES AND WORK REQUIRED TO COMPLETE THIS PROJECT. THE CONTRACTOR'S BID SHALL BE BASED ON ITS OWN COMPUTATIONS AND IN NO SUCH INSTANCE RELY ON THE ENGINEER'S ESTIMATE.
6.	QUESTIONS/CLARIFICATIONS WILL BE INTERPRETED BY ENGINEER/OWNER PRIOR TO THE AWARD OF CONTRACT. ENGINEER/OWNER WILL SUBMIT OFFICIAL RESPONSES IN WRITING. INTERPRETATIONS PRESENTED IN OFFICIAL RESPONSES SHALL BE BINDING ON ALL PARTIES ASSOCIATED WITH THE CONTRACT. IN NO WAY SHALL WORD-OF-MOUTH DIALOG CONSTITUTE AN OFFICIAL RESPONSE.
7.	PRIOR TO START OF WORK, CONTRACTOR SHALL BE COMPLETELY FAMILIAR WITH ALL CONDITIONS OF THE SITE, AND SHALL ACCOUNT FOR CONDITIONS THAT AFFECT, OR MAY AFFECT CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, LIMITATIONS OF WORK ACCESS, SPACE LIMITATIONS, OVERHEAD OBSTRUCTIONS, TRAFFIC PATTERNS, LOCAL REQUIREMENTS, ADJACENT ACTIVITIES, ETC. FAILURE TO CONSIDER SITE CONDITIONS SHALL NOT BE CAUSE FOR CLAIM OF JOB EXTRAS.
8.	COMMENCEMENT OF CONSTRUCTION SHALL EXPLICITLY CONFIRM THAT THE CONTRACTOR HAS REVIEWED THE PLANS AND SPECIFICATIONS IN ENTIRETY AND CERTIFIES THAT THEIR SUBMITTED BID PROPOSAL CONTAINS PROVISIONS TO COMPLETE THE PROJECT, WITH THE EXCEPTION OF UNFORESEEN FIELD CONDITIONS. ALL APPLICABLE PERMITS HAVE BEEN OBTAINED, AND CONTRACTOR UNDERSTANDS ALL OF THE REQUIREMENTS OF THE PROJECT.
9.	SHOULD ANY DISCREPANCIES OR CONFLICTS IN THE PLANS OR SPECIFICATIONS BE DISCOVERED AFTER THE AWARD OF CONTRACT, ENGINEER SHALL BE NOTIFIED IN WRITING IMMEDIATELY AND CONSTRUCTION OF ITEMS AFFECTED BY THE DISCREPANCIES/CONFLICTS SHALL NOT COMMENCE, OR CONTINUE, UNTIL A WRITTEN RESPONSE FROM ENGINEER/OWNER IS DISTRIBUTED. IN THE EVENT OF A CONFLICT BETWEEN REFERENCED CODES, STANDARDS, SPECIFICATIONS AND PLANS, THE ONE ESTABLISHING THE MOST STRINGENT REQUIREMENTS SHALL BE FOLLOWED.
10.	THE CONTRACTOR SHALL, AT ITS OWN EXPENSE, OBTAIN ALL NECESSARY PERMITS AND LICENSES TO COMPLETE THE PROJECT. OBTAINING PERMITS, OR DELAYS, IS NOT CAUSE FOR DELAY OF THE CONTRACT OR SCHEDULE. CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS.
11.	THE CONTRACTOR SHALL NOTIFY ALL INTERESTED GOVERNING AGENCIES, UTILITY COMPANIES AFFECTED BY THIS CONSTRUCTION PROJECT, AND DIGGERS' HOTLINE IN ADVANCE OF CONSTRUCTION TO COMPLY WITH ALL JURISDICTIONAL ORDINANCES/CODES/RULES/ETC., PERMIT STIPULATIONS, AND OTHER APPLICABLE STANDARDS.
12.	SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO INITIATE, INSTITUTE, ENFORCE, MAINTAIN, AND SUPERVISE ALL SAFETY PRECAUTIONS AND JOB SITE SAFETY PROGRAMS IN CONNECTION WITH THE WORK.
13.	CONTRACTOR SHALL KEEP THE JOBSITE CLEAN AND ORDERLY AT ALL TIMES. ALL LOCATIONS OF THE SITE SHALL BE KEPT IN A WORKING MANNER SUCH THAT DEBRIS IS REMOVED CONTINUOUSLY AND ALL RESPECTIVE CONTRACTORS OPERATE UNDER GENERAL "GOOD HOUSEKEEPING."
14.	THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, AND THEIR AGENTS FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, AND TESTING OF THE WORK ON THIS PROJECT.
15.	PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING MUST BE HELD AT THE VILLAGE OFFICES. THE PRECONSTRUCTION MEETING SHALL BE SCHEDULED AND MODERATED BY THE DESIGN ENGINEER OF RECORD.

REQUIRED SUBMITTALS FOR APPROVAL	
1.	HOT MIX ASPHALT- MIX DESIGN
2.	CONCRETE PAVEMENTS (EXTERIOR)
3.	STONE BASE COURSE
4.	TRENCH BACKFILL
5.	PIPE BEDDING
6.	TRUNCATED DOMES

REQUIRED SUBMITTALS FOR APPROVAL	
1.	WATER MAIN PIPE FITTINGS
2.	SANITARY SEWER
3.	STORM SEWER
4.	LIME MIX DESIGN (IF APPLICABLE)

FOR CONSTRUCTION

Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 545-2289
www.DiggersHotline.com

EXPIRATION DATE: JULY 31, 2015

PINNACLE ENGINEERING GROUP, LLC
ENGINEER'S LIMITATION

PINNACLE ENGINEERING GROUP, LLC AND THEIR CONSULTANTS DO NOT WARRANT OR GUARANTEE THE ACCURACY AND COMPLETENESS OF THE DELIVERABLES HEREIN BEYOND A REASONABLE DILIGENCE. IF ANY MISTAKES, OMISSIONS, OR DISCREPANCIES ARE FOUND TO EXIST WITHIN THE DELIVERABLES, THE ENGINEER SHALL BE PROMPTLY NOTIFIED PRIOR TO BID SO THAT HE MAY HAVE THE OPPORTUNITY TO TAKE WHATEVER STEPS NECESSARY TO RESOLVE THEM. FAILURE TO PROMPTLY NOTIFY THE ENGINEER OF SUCH CONDITIONS SHALL ABSOLVE THE ENGINEER FROM ANY RESPONSIBILITY FOR THE CONSEQUENCES OF SUCH FAILURE. ACTIONS TAKEN WITHOUT THE KNOWLEDGE AND CONSENT TO THE ENGINEER, OR IN CONTRADICTION TO THE ENGINEER'S DELIVERABLES OR RECOMMENDATIONS, SHALL BECOME THE RESPONSIBILITY NOT OF THE ENGINEER BUT OF THE PARTIES RESPONSIBLE FOR TAKING SUCH ACTION.

FURTHERMORE, PINNACLE ENGINEERING GROUP, LLC IS NOT RESPONSIBLE FOR CONSTRUCTION SAFETY OR THE MEANS AND METHODS OF CONSTRUCTION.

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF PINNACLE ENGINEERING GROUP, LLC

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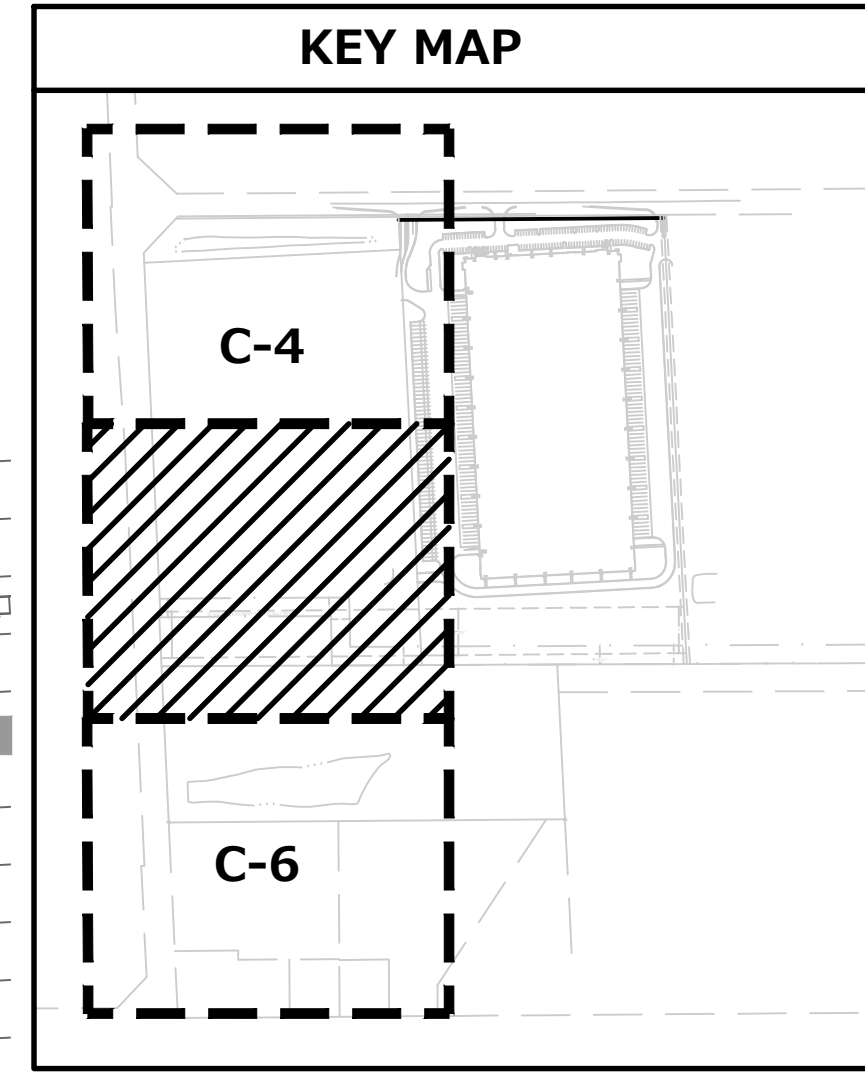
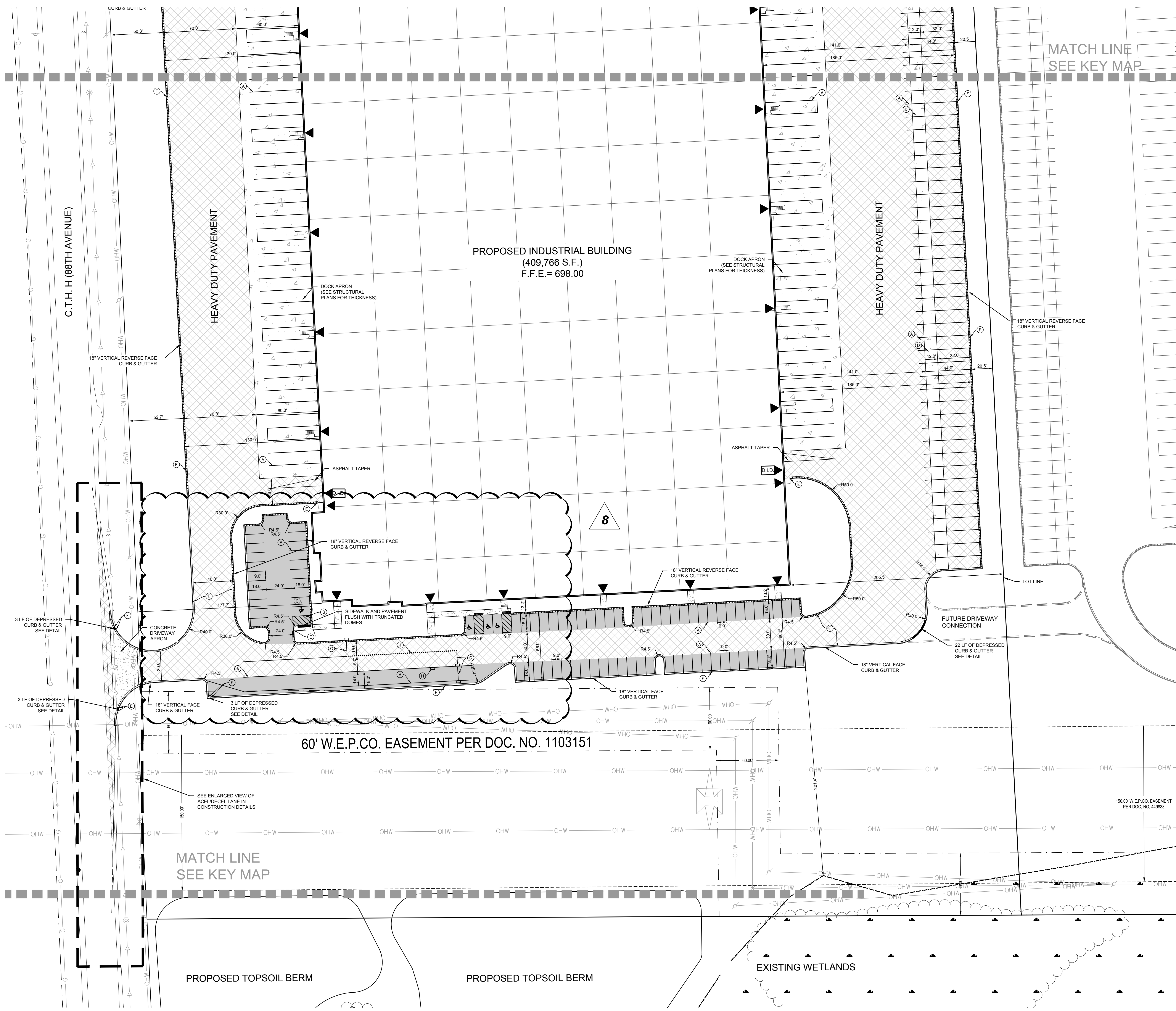
LOT 118 AT LAKEVIEW CORPORATE PARK
PLEASANT PRAIRIE, WI

COVER SHEET

REVISIONS		SCALE	SHEET C-1 of C-22
1.	PER VILLAGE COMMENTS 5/21/2014		
2.	BID SET 06/09/14	AS SHOWN	
3.	VILLAGE COMMENTS 06/24/14	AS SHOWN	
4.	SIMULTANEOUS BLDG CONSTRUCTION 07/15/14	AS SHOWN	
5.	FINAL CONSTRUCTION PLANS 07/22/14	AS SHOWN	
6.	CONSTRUCTION BULLETIN 1 08/14/14	AS SHOWN	
7.	CONSTRUCTION BULLETIN 2 10/14/14	AS SHOWN	
8.	UPDATED SBO SUBMITTAL 04/24/15	AS SHOWN	

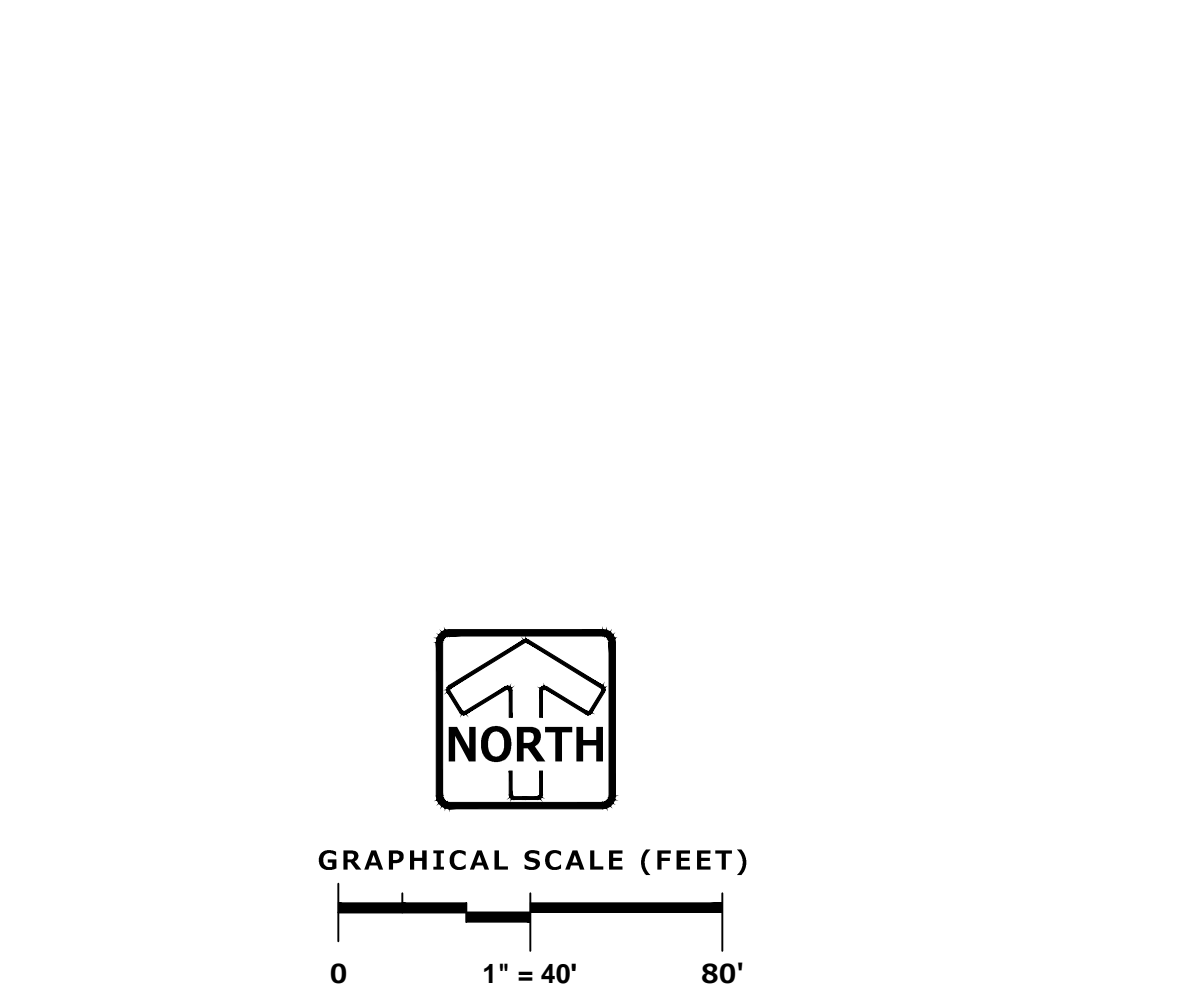
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LEGEND	
	LIGHT DUTY PAVEMENT 7" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LESTONITE) 4" ASPHALTIC CONC. (2 LIFTS) LOWER LAYER (E-3 TYPE) 3" THICK, 19.5 mm NOMINAL SIZE UPPER LAYER (E-1 MIX) 1.75" THICK, 9.5 mm NOMINAL SIZE
	HEAVY DUTY PAVEMENT 13" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LESTONITE) LOWER LAYER (E-3 TYPE) 3" THICK, 19.5 mm NOMINAL SIZE UPPER LAYER (E-1 MIX) 1.75" THICK, 9.5 mm NOMINAL SIZE
	CONCRETE PAVEMENT (TRUCK DOCK, DOLLY PAD, AND DRIVEWAY APRON AREAS) 6" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LESTONITE) 4" CONC. (6000 PSI AIR ENTRAINED CONCRETE WITH 4" X 8" GAUGE STEEL WESH)
	CONCRETE SIDEWALK 6" CRUSHED AGGREGATE BASE COURSE (1-1/2" DENSE GRADED LESTONITE) 4" CONC. (4" X 8" WELDED WIRE FABRIC #8 @ 315 X 30)
	4" SOLID WHITE STRIPE
	DIAGONAL AT 45° SPACED 2' O.C.
	R7-8 HANDICAP PARKING SIGN (SEE DETAIL)
	CONCRETE DOLLY PAD
	TAPER CURB HEAD
	18" CURB & GUTTER (SEE DETAIL)
	ACCESS GATE
	CARD READER
	FLEXIBLE DELIMITATORS
	PARKING COUNT
	MAN DOOR
	OVERHEAD DOOR

- NOTES**
- ALL DIMENSIONS ARE FACE OF CURB TO FACE OF CURB OR BUILDING FOUNDATION UNLESS NOTED OTHERWISE. ALL UTILITY DIMENSIONS ARE TO OUTSIDE OF PIPE OR CENTER OF STRUCTURE UNLESS OTHERWISE NOTED. ALL PAVING DIMENSIONS ARE TO FACE OF CURB OR TO EDGE OF PAVEMENT, EXCEPT FOR THE SETBACK FROM PARKING LOTS, MANEUVERING LANES AND FIRE ACCESS LANES, WHERE THE SETBACK IS MEASURED FROM THE BACK OF CURB TO THE PROPERTY LINE.
 - ALL PROPOSED CURB AND GUTTER SHALL BE 18" STANDARD CURB AND GUTTER (SEE DETAIL), UNLESS OTHERWISE NOTED. CURB AND GUTTER DRAINING AWAY FROM THE FACE OF CURB IS NOTED AS REVERSE CURB AND GUTTER.
 - ALL RADII ARE MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - ALL CURB RADII SHALL BE MEASURED TO FACE OF CURB UNLESS NOTED OTHERWISE.
 - BUILDING DIMENSIONS AND ADJACENT PARKING AND UTILITY LAYOUT HAVE BEEN PREPARED BASED UPON ARCHITECTURAL INFORMATION CURRENT AT THE DATE OF THIS DRAWING. SUBSEQUENT ARCHITECTURAL CHANGES MAY EXIST. THEREFORE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL CONTACT DIGGERS HOTLINE (1-800-242-8511) PRIOR TO ANY WORK TO LOCATE UTILITIES AND SHALL CONTACT THE OWNER SHOULD UTILITIES APPEAR TO BE IN CONFLICT WITH THE PROPOSED IMPROVEMENT.
 - IMPROVEMENTS ADJACENT TO BUILDING IF SHOWN SUCH AS TRUCK DOCK, RETAINING WALLS, SIDEWALKS, CURBING, FENCES, CANOPIES, RAMPS, HANDICAP ACCESS, PLANTERS, DUMPSTERS, AND TRANSFORMERS ETC. HAVE BEEN SHOWN FOR APPROXIMATE LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS, SPECIFICATIONS, AND DETAILS.
 - REFER TO ELECTRICAL PLANS FOR LIGHTING LOCATIONS, SPECIFICATIONS, AND DETAILS.
 - SEE ADDITIONAL NOTES AND DETAILS ON SITE DIMENSIONAL PLANS AND CONSTRUCTION DETAILS.
 - ALL PAVING SHALL CONFORM TO STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION AND APPLICABLE VILLAGE OF PLEASANT PRAIRIE ORDINANCES, AND SPECIFICATIONS CONTAINED WITHIN THIS PLAN SET.
 - CONTRACTOR SHALL CONSULT STRIPING COLOR WITH OWNER PRIOR TO CONSTRUCTION.
 - PROVIDE CONTRACTOR GRADE ACRYLIC, STRIPING PAINT FOR NEW ASPHALT OR COATED ASPHALT. APPLY MARKING PAINT AT A RATE OF ONE (1) GALLON PER THREE TO FOUR HUNDRED (300-400) LINEAL FEET OF FOUR (4) INCH WIDE STRIPES OR TO MANUFACTURER'S SPECIFICATION, WHICHEVER IS GREATER.
 - THOROUGHLY CLEAN SURFACES FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER. CONTRACTOR RESPONSIBLE TO INSPECT EXISTING PAVEMENT SURFACES FOR CONDITIONS AND DEFECTS THAT WILL ADVERSELY AFFECT QUALITY OF WORK, AND WHICH CANNOT BE PUT INTO AN ACCEPTABLE CONDITION THROUGH NORMAL PREPARATORY WORK AS SPECIFIED.
 - DO NOT PLACE MARKING OVER UNSOUND PAVEMENTS. IF THESE CONDITIONS EXIST, NOTIFY OWNER. STARTING INSTALLATION CONSTITUTES CONTRACTOR'S ACCEPTANCE OF SURFACE AS SUITABLE FOR INSTALLATION.
 - LAYOUT MARKINGS USING GUIDE LINES, TEMPLATES AND FORMS. STENCILS AND TEMPLATES SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS, OR WORDING SHALL NOT BE ALLOWED. APPLY STRIPES STRAIGHT AND EVEN.
 - PROTECT ADJACENT CURBS, WALKS, FENCES, AND OTHER ITEMS FROM RECEIVING PAINT.
 - BARRICADE MARKED AREAS DURING INSTALLATION AND UNTIL THE MARKING PAINT IS DRIED AND READY FOR TRAFFIC.
 - ASPHALTIC CONCRETE PAVING SPECIFICATIONS:
CODES AND STANDARDS: THE PLACING, CONSTRUCTION AND COMPOSITION OF THE ASPHALTIC BASE COURSE AND ASPHALTIC CONCRETE SURFACING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTIONS 450, 455, 460 AND 465 OF THE STATE OF WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, EDITION OF 2005. HEREAFTER, THIS PUBLICATION WILL BE REFERRED TO AS THE STATE HIGHWAY SPECIFICATIONS.
WEATHER LIMITATIONS: APPLY TACK COATS WHEN AMBIENT TEMPERATURE IS ABOVE 50° F (10° C) AND WHEN TEMPERATURE HAS NOT BEEN BELOW 35° F (1° C) FOR 12 HOURS IMMEDIATELY PRIOR TO APPLICATION. DO NOT APPLY WHEN BASE IS WET OR CONTAINS EXCESS OF MOISTURE. CONSTRUCT ASPHALTIC CONCRETE SURFACE COURSE WHEN ATMOSPHERIC TEMPERATURE IS ABOVE 40° (4° C) AND WHEN BASE IS DRY AND WHEN WEATHER IS NOT RAINY. BASE COURSE MAY BE PLACED WHEN AIR TEMPERATURE IS ABOVE 30° F (1° C).
GRADE CONTROL: ESTABLISH AND MAINTAIN REQUIRED LINES AND ELEVATIONS FOR EACH COURSE DURING CONSTRUCTION.
CRUSHED AGGREGATE BASE COURSE: THE TOP LAYER OF BASE COURSE SHALL CONFORM TO SECTIONS 301 AND 305, STATE HIGHWAY SPECIFICATIONS.
BINDER COURSE AGGREGATE: THE AGGREGATE FOR THE BINDER COURSE SHALL CONFORM TO SECTIONS 400.2.7 AND 315, STATE HIGHWAY SPECIFICATIONS.
SURFACE COURSE AGGREGATE: THE AGGREGATE FOR THE SURFACE COURSE SHALL CONFORM TO SECTIONS 460.2.7 AND 465, STATE HIGHWAY SPECIFICATIONS.
ASPHALTIC MATERIALS: THE ASPHALTIC MATERIALS SHALL CONFORM TO SECTION 455 AND 460, STATE HIGHWAY SPECIFICATIONS.
SURFACE PREPARATION: NOTIFY CONTRACTOR OF UNSATISFACTORY CONDITIONS. DO NOT BEGIN PAVING WORK UNTIL DEFICIENT SUBBASE AREAS HAVE BEEN CORRECTED AND ARE READY TO RECEIVE PAVING.



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SITE DIMENSIONAL & PAVING PLAN

REVISIONS		
NO.	DESCRIPTION	DATE
1.	PER VILLAGE COMMENTS	5/21/2019
2.	BID SET	06/09/19
3.	VILLAGE COMMENTS	06/24/19
4.	SIMULTANEOUS BLDG CONSTRUCTION	07/15/19
5.	FINAL CONSTRUCTION PLANS	07/22/19
6.	CONSTRUCTION BULLETIN 1	08/19/19
7.	CONSTRUCTION BULLETIN 2	10/14/19
8.	UPDATED SBO SUBMITTAL	04/24/21

REC. JOB NO.: 172.001
SCALE: AS SHOWN

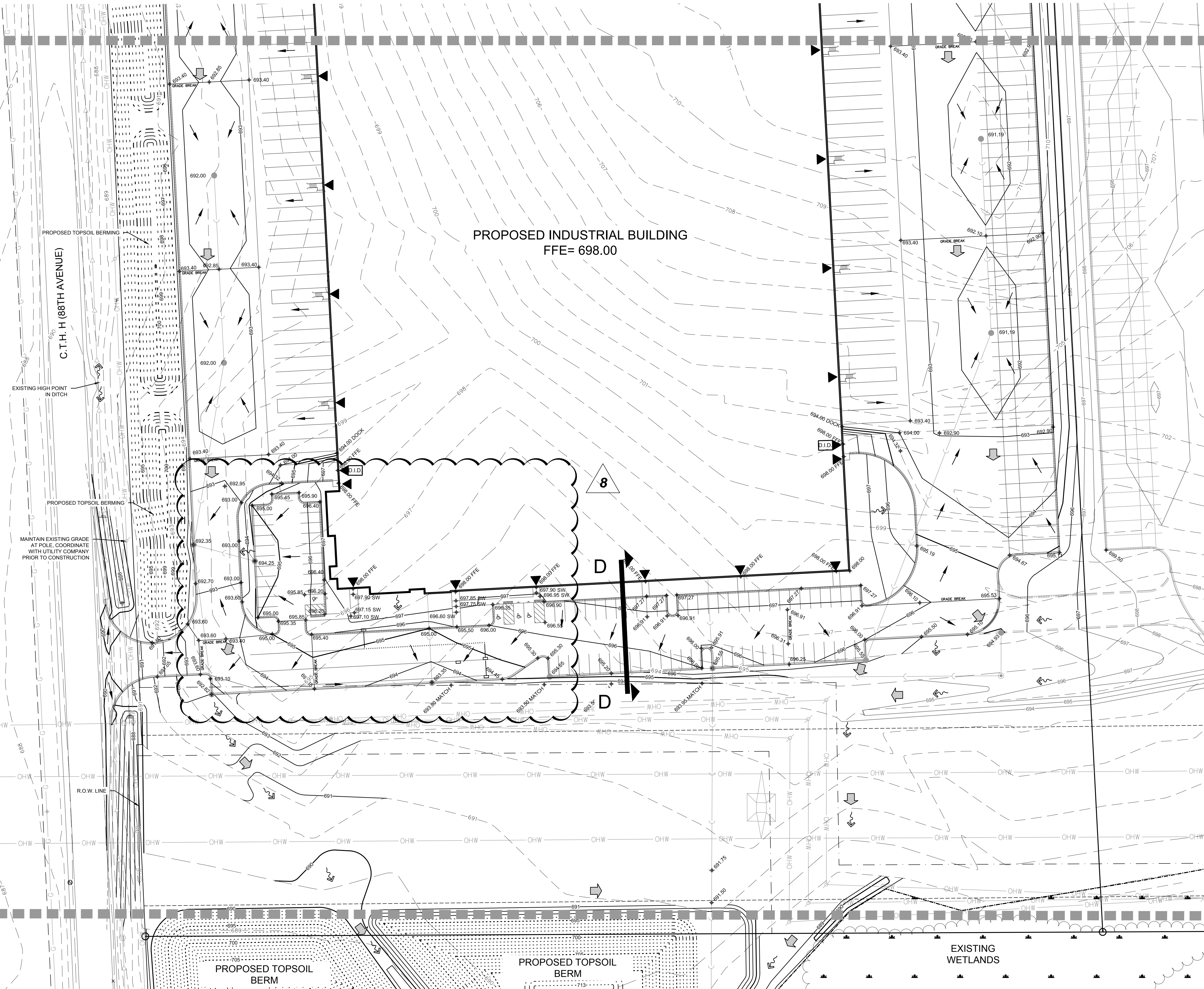
SHEET C-5
of C-22

DATE: 05/30/19

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MATCH LINE
SEE KEY MAP



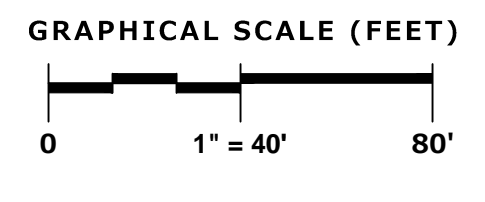
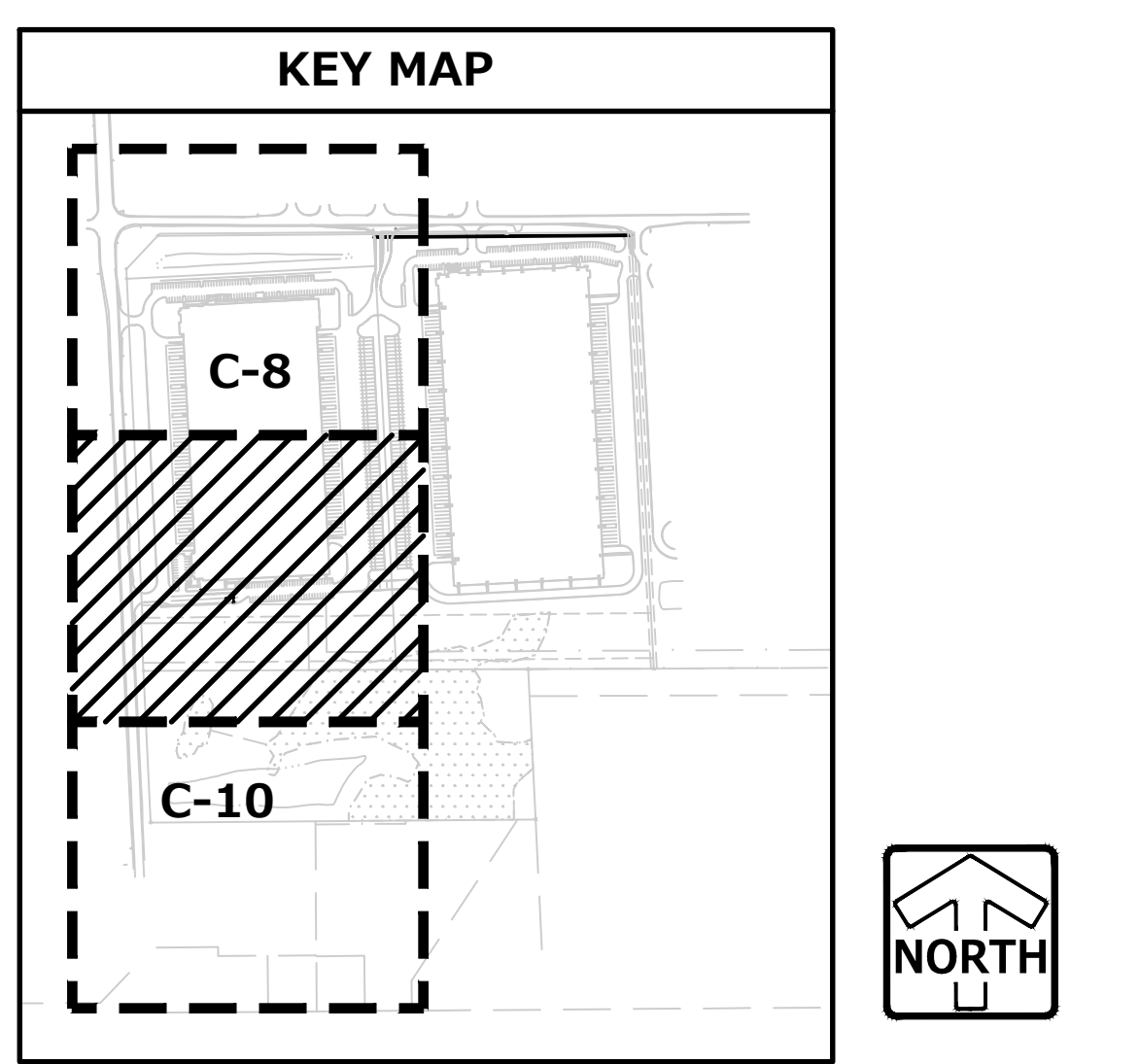
MATCH LINE
SEE KEY MAP

LEGEND	
	SANITARY MANHOLE
	STORM MANHOLE
	CATCH BASIN
	INLET
	BUFFALO BOX
	CLEANOUT
	CONTOUR
	CONTOUR (TOPSOIL FILL)
	SPOT ELEVATION
	DIRECTION OF SURFACE FLOW
	DITCH OR SWALE
	DIVERSION SWALE
	OVERFLOW RELIEF ROUTING
	CONCRETE SIDEWALK
	CURB AND GUTTER
	DEPRESSED CURB
	REVERSE PITCH CURB & GUTTER

- NOTES**
- CONTRACTOR SHALL VERIFY ALL GRADES, ENSURE ALL AREAS DRAIN PROPERLY AND REPORT ANY DISCREPANCIES TO PINNACLE ENGINEERING GROUP PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
 - ALL EXISTING CONTOURS REPRESENT EXISTING SURFACE GRADES UNLESS OTHERWISE NOTED. ALL PROPOSED GRADES SHOWN ARE FINISH SURFACE GRADES UNLESS OTHERWISE NOTED.
 - ALL EXCAVATIONS AND MATERIAL PLACEMENT SHALL BE COMPLETED TO DESIGN ELEVATIONS AS DEPICTED IN THE PLANS.

CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE COMPUTATION(S) OF ALL GRADING QUANTITIES. WHILE PEG ATTEMPTS TO PROVIDE A COST EFFECTIVE APPROACH TO BALANCE EARTHWORK, GRADING DESIGN IS BASED ON MANY FACTORS, INCLUDING SAFETY, AESTHETICS, AND COMMON ENGINEERING STANDARD OF CARE, THEREFORE NO GUARANTEE CAN BE MADE FOR A BALANCED SITE.

THE CONTRACTOR MAY SOLICIT APPROVAL FROM ENGINEER/OWNER TO ADJUST FINAL GRADES FROM DESIGN GRADES TO PROVIDE AN OVERALL SITE BALANCE AS A RESULT OF FIELD CONDITIONS.
 - GRADING ACTIVITIES SHALL BE IN A MANNER TO ALLOW POSITIVE DRAINAGE ACROSS DISTURBED SOILS, WHICH MAY INCLUDE EXCAVATION OF TEMPORARY DITCHES TO PREVENT PONDING, AND IF NECESSARY PUMPING TO ALLEVIATE PONDING. CONTRACTOR SHALL PREVENT SURFACE WATER FROM ENTERING INTO EXCAVATIONS. IN NO WAY SHALL OWNER BE RESPONSIBLE FOR REMEDIATION OF UNSUITABLE SOILS CREATED/ORIGINATED AS A RESULT OF IMPROPER SITE GRADING OR SEQUENCING. CONTRACTOR SHALL SEQUENCE GRADING ACTIVITIES TO LIMIT EXPOSURE OF DISTURBED SOILS DUE TO WEATHER.
 - THE CONTRACTOR IS RESPONSIBLE FOR MEETING MINIMUM COMPACTION STANDARDS. THE CONTRACTOR SHALL NOTIFY ENGINEER/OWNER IF PROPER COMPACTION CANNOT BE OBTAINED. THE PROJECT'S GEOTECHNICAL CONSULTANT SHALL DETERMINE WHICH IN-SITU SOILS ARE TO BE CONSIDERED UNSUITABLE SOILS. THE ENGINEER/OWNER AND GEOTECHNICAL TESTING CONSULTANT WILL DETERMINE IF REMEDIAL MEASURES WILL BE NECESSARY.
 - IN THE EVENT THAT ANY MOISTURE-DENSITY TEST(S) FAIL TO MEET SPECIFICATION REQUIREMENTS, THE CONTRACTOR SHALL PERFORM CORRECTIVE WORK AS NECESSARY TO BRING THE MATERIAL INTO COMPLIANCE AND RETEST THE FAILED AREA AT NO COST TO THE OWNER.
 - WITH THE AUTHORIZATION OF THE ENGINEER/OWNER, MATERIAL THAT IS TOO WET TO PERMIT PROPER CONSTRUCTION MAY BE SPREAD ON FILL AREAS IN AN EFFORT TO DRY. CONTRACTOR SHALL CLEARLY FIELD MARK THE EXTERIOR LIMITS OF SPREAD MATERIAL WITH PAINTED LATH AND SUBMIT A PLAN TO THE ENGINEER/OWNER THAT IDENTIFIES THE LIMITS. UNDER NO CONDITION SHALL THE SPREAD MATERIAL DEPTH EXCEED THE MOST RESTRICTIVE OF THE EFFECTIVE TREATMENT DEPTH OF MACHINERY THAT WILL BE USED TO TURN OVER THE SPREAD MATERIAL, OR THE MAXIMUM CONSTRUCTION LIFT DEPTH.
 - THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER/OWNER IF GROUNDWATER IS ENCOUNTERED DURING EXCAVATION.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ADEQUATE AND SAFE TEMPORARY SHORING, BRACING, RETENTION STRUCTURES, AND EXCAVATIONS.
 - THE SITE SHALL BE COMPLETED TO WITHIN 0.10-FT (+/-) OF THE PROPOSED GRADES AS INDICATED WITHIN THE PLANS PRIOR TO PLACEMENT OF TOPSOIL OR STONE. CONTRACTOR IS ENCOURAGED TO SEQUENCE CONSTRUCTION SUCH THAT THE SITE IS DIVIDED INTO SMALLER AREAS TO ALLOW STABILIZATION OF DISTURBED SOILS IMMEDIATELY UPON COMPLETION OF INDIVIDUAL SMALLER AREAS.
 - CONTRACTOR SHALL CONTACT "DIGGER'S HOTLINE" FOR LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES AND SHALL BE RESPONSIBLE FOR PROTECTING SAID UTILITIES FROM ANY DAMAGE DURING CONSTRUCTION.
 - CONTRACTOR SHALL PROTECT INLETS AND ADJACENT PROPERTIES WITH SILT FENCING OR APPROVED EROSION CONTROL METHODS UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR SHALL PLACE SILT FENCING AT DOWN SLOPE SIDE OF GRADING LIMITS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING FACILITIES OR UTILITIES. ANY DAMAGE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
 - WORK WITHIN ANY ROADWAY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE MUNICIPAL OFFICIAL PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES. GRADING WITHIN RIGHT-OF-WAY IS SUBJECT TO APPROVAL BY SAID OFFICIALS. RESTORATION OF RIGHT-OF-WAY IS CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE COST OF GRADING. RESTORATION SHALL INCLUDE ALL ITEMS NECESSARY TO RESTORE RIGHT-OF-WAY INCLUDING LANDSCAPING.
 - CONTRACTOR SHALL COMPLY WITH ALL RACINE COUNTY CONSTRUCTION STANDARDS/ORDINANCES.
 - LANDSCAPE AND TURF AREAS SHALL HAVE A MINIMUM OF 4-INCH TOPSOIL REPLACEMENT.
 - TOPSOIL BERMING SHALL ACHIEVE 90% STANDARD PROCTOR DENSITY AT 3% (+) OPTIMUM MOISTURE CONTENT.
 - SURVEY BENCHMARKS AND MAPPING HAS BEEN PROVIDED BY CHAPUT LAND SURVEY, INC. IN NO WAY DOES PEG WARRANT THE BASEMAP IS ALL INCLUSIVE OR REPRESENTATIVE OF ACTUAL CONDITIONS. CONTRACTOR SHALL PROVIDE CHECKS AS NECESSARY TO VERIFY THE BASEMAP CONTENT AND ACCURACY.
 - SPOT ELEVATIONS REPRESENT THE GRADE ALONG THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED ON THE PLANS.



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PINNACLE ENGINEERING GROUP
ENGINEERING | NATURAL RESOURCES | SURVEYING

WISCONSIN OFFICE:
15850 W. BLUEMOUND ROAD
BROOKFIELD, WI 53005
(262) 754-8888

CHICAGO | MILWAUKEE | RATIONSVILLE

**LOT 118 AT LAKEVIEW CORPORATE PARK
PLEASANT PRAIRIE, WI**

GRADING PLAN

REVISIONS	
1. PER VILLAGE COMMENTS	5/21/2014
2. BID SET	06/09/14
3. VILLAGE COMMENTS	06/24/14
4. SIMULTANEOUS BLDG CONSTRUCTION	07/15/14
5. FINAL CONSTRUCTION PLANS	07/22/14
6. CONSTRUCTION BULLETIN 1	08/14/14
7. CONSTRUCTION BULLETIN 2	10/14/14
8. UPDATED SBO SUBMITTAL	04/24/15

REG. JOB NO. 172.00
JOB NO. ABA
START DATE 05/20/14
SCALE

SHEET C-9
C-22

DESIGNED: ABA
DRAWN: BRP
REVIEWED: ABA
DATE: 05/20/14

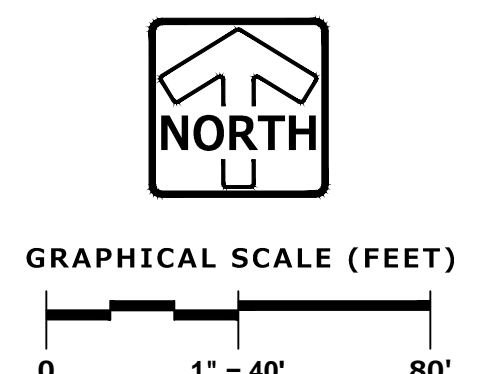
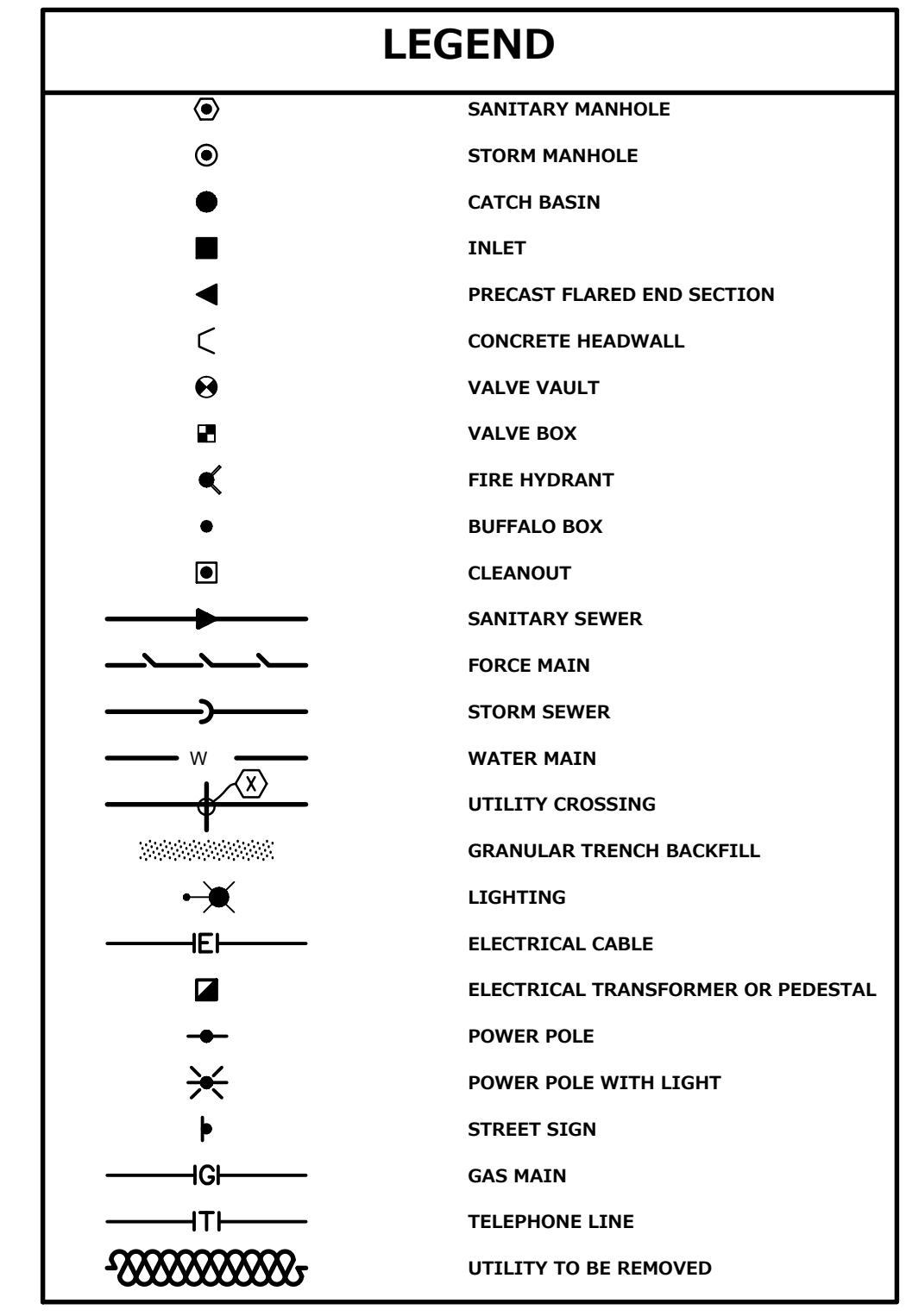
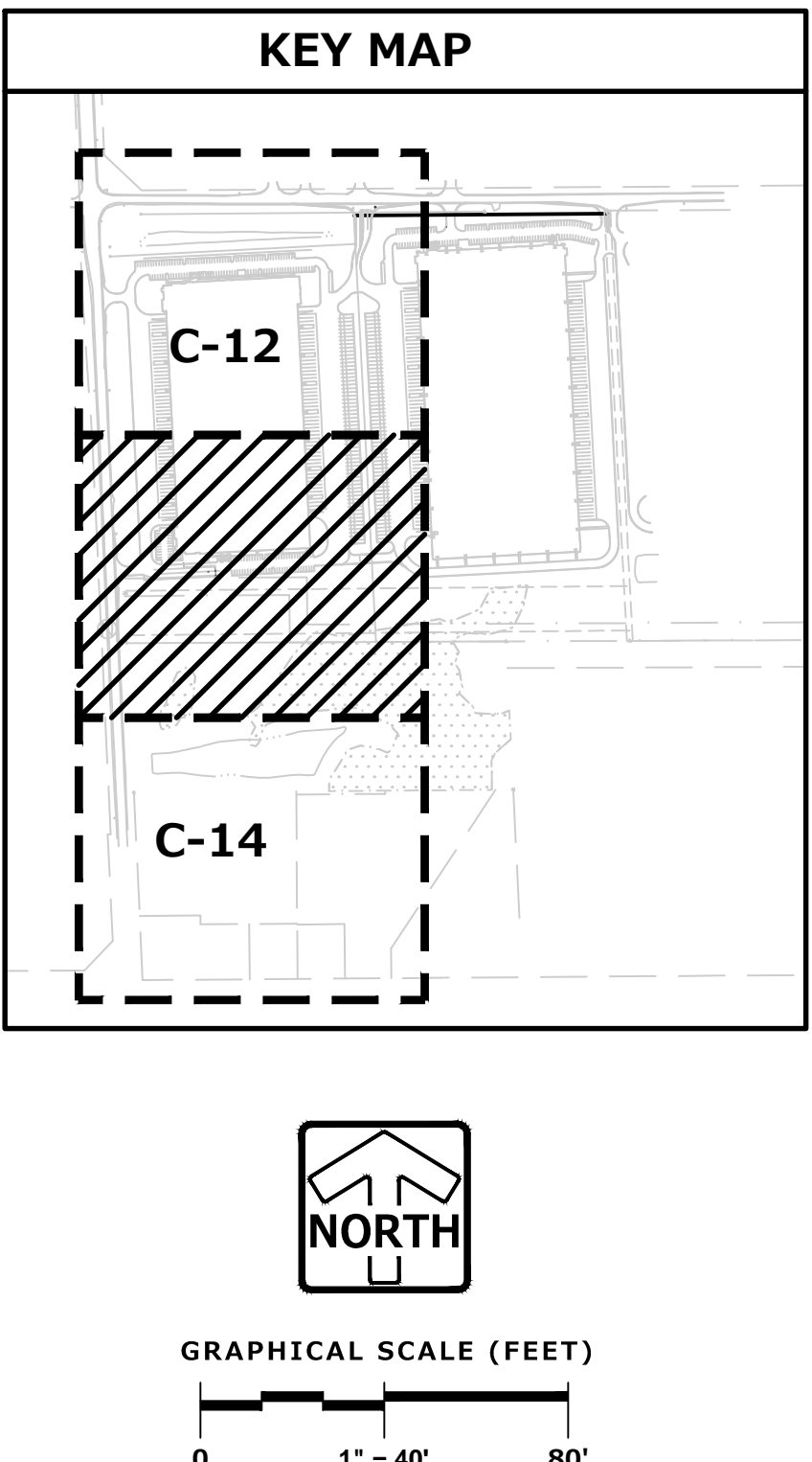
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GRADING PLAN

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DESIGNED: AEA
DRAWN: BRP
REVIEWED: AEA



Upstream Structure	Downstream Structure	Length (ft)	Diameter (in)	Slope (%)	Manning Coefficient	Rim/Top Up	Invert Up	Invert Down
CB-16	CB-15	165.00	15	0.12	0.012	692.00	687.70	687.50
CB-15	CB-14	162.30	18	0.12	0.012	692.00	687.50	687.31
CB-14	CB-13	132.50	24	0.12	0.012	692.35	687.31	687.15
CB-13	CB-12	193.90	24	0.12	0.012	692.82	687.15	686.92
CB-12	CB-11	103.70	24	0.12	0.012	693.35	686.92	686.79
CB-11	CB-8	143.30	30	0.12	0.012	694.15	686.79	686.62
CB-8	MH-7	8.40	48	0.12	0.012	695.55	686.62	686.61
RD-11A	CB-11	79.23	12	4.00	0.012	698.00	689.96	686.79
RD-8A	CB-8	79.21	12	4.00	0.012	698.00	689.79	686.62
CB-19	CB-18	171.00	15	0.15	0.012	691.19	687.53	687.28
CB-18	CB-9	308.20	24	0.15	0.012	691.19	687.28	686.81
CB-9	CB-8	135.00	24	0.15	0.012	695.55	686.81	686.61
CB-17	MH-7A	37.91	8	2.08	0.012	694.93	689.94	689.15
MH-7A	MH-7	253.70	30	1.00	0.012	694.80	689.15	686.61
CB-14.1	CB-14	55.60	8	2.00	0.012	694.25	690.11	689.00



- NOTES**
- EXISTING UTILITIES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND ARE NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE, LOCATION, SIZE AND ELEVATION OF UNDERGROUND UTILITIES AS THEY DEEM NECESSARY FOR PROPOSED UTILITY CONNECTIONS AND/OR TO AVOID DAMAGE THERETO. CONTRACTOR SHALL CALL "DIGGER'S HOTLINE" PRIOR TO ANY CONSTRUCTION.
 - ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (LATEST EDITION AND ADDENDUM) AND ALL STATE AND LOCAL CODES AND SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHICH SPECIFICATIONS AND CODES APPLY, AND TO COORDINATE ALL CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE LOCAL AND STATE AUTHORITIES.
 - UTILITY CONSTRUCTION AND SPECIFICATIONS SHALL COMPLY WITH THE VILLAGE OF PLEASANT PRAIRIE SPECIAL PROVISIONS AND WISCONSIN DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES COMR 82.
 - LENGTHS OF PROPOSED UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS ARE SHOWN FOR CONTRACTOR CONVENIENCE ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR CORRECTATIONS OF MATERIALS REQUIRED TO COMPLETE WORK. LENGTHS SHALL BE FIELD VERIFIED DURING CONSTRUCTION.
 - CONTRACTOR SHALL ADJUST AND/OR RECONSTRUCT EXISTING UTILITY COVERS (SUCH AS MANHOLE COVERS, VALVE BOX COVERS, ETC.) TO MATCH FINISHED GRADES OF THE AREAS DISTURBED DURING CONSTRUCTION.
 - CONTRACTOR SHALL FIELD VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF PROPOSED UTILITIES AND CHECK ALL UTILITY CROSSINGS FOR CONFLICTS PRIOR TO ATTEMPTING CONNECTIONS AND BEGINNING UTILITY CONSTRUCTION AND NOTIFY THE OWNER OF ANY DISCREPANCIES OR CONFLICTS.
 - ALL NEW ON-SITE SANITARY, STORM AND WATER UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE PROPERTY OWNER.
 - THE CONTRACTOR SHALL CONTACT THE VILLAGE OF PLEASANT PRAIRIE PUBLIC WORKS DEPARTMENT 48-HOURS IN ADVANCE OF SANITARY, WATER AND STORM CONNECTIONS TO THE VILLAGE-OWNED SYSTEM TO SCHEDULE INSPECTIONS.
 - ROUTING OF GAS, ELECTRIC AND TELEPHONE SERVICES ARE SHOWN ON THE ARCHITECTURAL PLANS AND SUBJECT TO CHANGE BASED UPON FINAL REVIEW AND APPROVAL BY RESPECTIVE UTILITY COMPANIES AND OWNER. CONTRACTOR SHALL CONTACT EACH UTILITY COMPANY AND COORDINATE FINAL LOCATIONS FOR ALL UTILITY SERVICES PRIOR TO START OF CONSTRUCTION.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROPER AUTHORITIES FOR ANY REQUIRED PERMITS, AUTHORIZATIONS, TRAFFIC CONTROL AND ANY PERMIT FEES REQUIRED.
 - FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE SIZE, TYPE AND NUMBER OF WATER MAIN BENDS, HORIZONTAL AND VERTICAL, REQUIRED TO COMPLETE CONSTRUCTION. COST FOR BENDS, HORIZONTAL AND VERTICAL, SHALL BE INCIDENTAL AND INCLUDED IN THE OVERALL COST OF THE CONTRACT.
 - ALL EXISTING PUBLIC WATER MAIN VALVES SHALL BE OPERATED BY THE VILLAGE PUBLIC WORKS DEPARTMENT. CONTRACTORS SHALL CONTACT THE VILLAGE PUBLIC WORKS DEPARTMENT (262-694-6700) FOR VALVE OPERATIONS.
 - THE CONTRACTOR SHALL CONTACT THE ENGINEERING DEPARTMENT (262-948-8951) FOR THE WATER SERVICE CONNECTION TO THE PUBLIC WATER MAIN AND SANITARY SEWER SERVICE CONNECTION TO THE PUBLIC SANITARY SEWER AT LEAST 48-HOURS IN ADVANCE OF THE WORK SCHEDULED FOR INSTALLATION.
 - STORM SEWER SPECIFICATIONS -
PIPE - REINFORCED CONCRETE PIPE (RCP) SHALL MEET THE REQUIREMENTS OF ASTM CLASS IV (MINIMUM) C-76 WITH RUBBER GASKET JOINTS CONFORMING TO ASTM C-443; HIGH DENSITY DUAL-WALL POLYETHYLENE N-12 CORRUGATED PIPE (HDPE) SHALL BE AS MANUFACTURED BY ADS OR EQUIV. WITH WATER TIGHT JOINTS, AND SHALL MEET THE REQUIREMENTS OF AASHTO DESIGNATION M-294 12" 2' OR 18" CLASS 904 MEETING AASHTO M29, AS NOTED. IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE STRAPPED TOGETHER.
INLETS/CATCH BASINS - INLETS/CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NO. 25 OF THE "STANDARD SPECIFICATIONS" WITH A 4" x 24" x 24" MAXIMUM OPENING. FRAME & GRATE SHALL BE NENAH R-1580 WITH TYPE B GRATE, OR EQUAL. CURB FRAME & GRATE SHALL BE NENAH R-3067, OR EQUAL. THE SUMP DEPTH (VERTICAL DISTANCE FROM THE BASE OF THE STRUCTURE TO OUTFALL INVERT OF THE PIPE) SHALL BE 18" MIN. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
BACKFILL AND BEDDING - STORM SEWER SHALL BE CONSTRUCTED WITH GRAVEL BACKFILL AND CLASS "B" BEDDING IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
FIELD TILE CONNECTION - ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE(S) FOR STORM SEWER. TILE LINES CROSSED BY THE TRENCH SHALL BE REPLACED WITH THE SAME MATERIAL AS THE STORM SEWER. IF HDPE PIPE IS USED FOR POND OUTFALLS, A MINIMUM OF THREE (3) SECTIONS (2 STRAPS) SHALL BE TRAPPED TOGETHER.
 - WATER MAIN SPECIFICATIONS -
PIPE - WATER MAIN SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING THE REQUIREMENTS OF AWWA STANDARD C-900, CLASS 150, DR-18, WITH CAST IRON D.O. AND INTEGRAL ELASTOMERIC BELL AND SPIGOT JOINTS. VALVES AND VALVE BOXES - GATE VALVES SHALL BE AWWA GATES MEETING THE REQUIREMENTS OF AWWA C-500 AND CHAPTER 8.2.7.0 OF THE "STANDARD SPECIFICATIONS". GATE VALVES AND VALVE BOXES SHALL CONFORM TO LOCAL PLUMBING ORDINANCES.
HYDRANTS - HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF THE VILLAGE OF PLEASANT PRAIRIE AND IN ACCORDANCE WITH FILE NO. 38 OF THE "STANDARD SPECIFICATIONS". THE DISTANCE FROM THE GROUND LINE TO THE CENTERLINE OF THE LOWEST NOZZLE AND THE LOWEST CONNECTION OF THE FIRE DEPARTMENT SHALL BE NO LESS THAN 18-INCHES AND NO GREATER THAN 23-INCHES.
BEDDING AND COVER MATERIAL - PIPE BEDDING AND COVER MATERIAL SHALL BE SAND, CRUSHED STONE CHIPS OR CRUSHED STONE SCREENINGS CONFORMING TO CHAPTER 8.4.3.2 OF THE "STANDARD SPECIFICATIONS".
BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
 - SANITARY SEWER SPECIFICATIONS -
PIPE - SANITARY SEWER PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) PIPE MEETING REQUIREMENTS OF ASTM D 3034, SDR-35, WITH INTEGRAL BELL TYPE FLEXIBLE ELASTOMERIC JOINTS, MEETING THE REQUIREMENTS OF ASTM D-3212.
BEDDING AND COVER MATERIAL - BEDDING AND COVER MATERIAL SHALL CONFORM TO THE APPROPRIATE SECTIONS OF THE "STANDARD SPECIFICATIONS" WITH THE FOLLOWING MODIFICATION: COVER MATERIAL SHALL BE THE SAME AS USED FOR BEDDING AND SHALL CONFORM TO SECTION 8.4.3.2 (A). BEDDING AND COVER MATERIAL SHALL BE PLACED IN A MINIMUM OF THREE SEPARATE LIFTS, OR AS REQUIRED TO INSURE ADEQUATE COMPACTING OF THESE MATERIALS, WITH ONE LIFT OF BEDDING MATERIAL ENDING AT OR NEAR THE SPRINGLINE OF THE PIPE. THE CONTRACTOR SHALL TAKE CARE TO COMPLETELY WORK BEDDING MATERIAL UNDER THE HAUNCH OF THE PIPE TO PROVIDE ADEQUATE SIDE SUPPORT.
BACKFILL - BACKFILL MATERIAL AND INSTALLATION SHALL BE IN ACCORDANCE WITH CHAPTER 2.6.0 OF THE "STANDARD SPECIFICATIONS". GRAVEL BACKFILL IS REQUIRED IN ALL PAVED AREAS AND TO A POINT 5 FEET BEYOND THE EDGE OF PAVEMENT. TRENCHES RUNNING PARALLEL TO AND LESS THAN 5 FEET FROM THE EDGE OF PAVEMENT SHALL ALSO REQUIRE GRAVEL BACKFILL. LANDSCAPED AREAS MAY BE BACKFILLED WITH EXCAVATED MATERIAL IN CONFORMANCE WITH SECTION 8.4.3.5 OF THE "STANDARD SPECIFICATIONS".
MANHOLES - MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH FILE NOS. 12, 13 AND 15 OF THE "STANDARD SPECIFICATIONS" AND ALL SPECIAL PROVISIONS OF THE VILLAGE OF PLEASANT PRAIRIE. STRUCTURE SHOP DRAWINGS SHALL BE SUBMITTED TO PINNACLE ENGINEERING GROUP FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING AND INSTALLATION.
MANHOLE FRAMES AND COVERS - MANHOLE FRAMES AND COVERS SHALL BE NENAH R-1642 WITH TYPE "B" SELF SEALING LIDS, NON-ROCKING OR EQUAL.
 - WATER MAIN AND SANITARY SEWER SHALL BE INSULATED WHEREVER THE DEPTH OF COVER IS LESS THAN 6 FEET. INSULATION AND PLACING OF INSULATION SHALL CONFORM TO CHAPTER 4.17.0 INSULATION OF THE "STANDARD SPECIFICATIONS" FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN 6TH EDITION UPDATED WITH ITS LATEST ADDENDUM (TYP.).
 - TRACER WIRE SHALL BE INSTALLED IN ACCORDANCE WITH THE DEPARTMENT OF COMMERCE REGULATIONS IN CHAPTER 82. THE TRACER WIRE FOR THE SANITARY SEWER LATERAL SHALL BE CONTINUOUS AND SHALL BE EXTENDED ABOVE GRADE VIA A 4-INCH PVC PIPE WITH SCREW-ON CAP ADJACENT TO THE PROPOSED TERMINATION POINT OF THE LATERAL FOR THE PROPOSED BUILDING.
 - SEE UTILITY PLANS AND CONSTRUCTION DETAILS FOR ADDITIONAL INFORMATION.

LOOP & FIRE DEPARTMENT CONNECTION SHOWN FOR CONCEPTUAL HYDRANT SPACING ONLY. THIS PLAN SHALL NOT BE USED FOR FIRE PROTECTION SYSTEM CONSTRUCTION FINAL DESIGN AND SIZING SHALL BE BY FIRE PROTECTION DESIGNER.

PROPOSED INDUSTRIAL BUILDING
FFE= 698.00
(409,766 S.F.)

EXISTING WETLANDS

LOT 118 AT LAKEVIEW CORPORATE PARK
PLEASANT PRAIRIE, WI

UTILITY PLAN

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REVISIONS		DATE	BY
1.	PER VILLAGE COMMENTS	5/21/2014	5
2.	BID SET	06/09/14	6
3.	VILLAGE COMMENTS	06/24/14	7
4.	SIMULTANEOUS BLDG CONSTRUCTION	07/15/14	8
5.	FINAL CONSTRUCTION PLANS	07/22/14	5
6.	CONSTRUCTION BULLETIN 1	08/14/14	6
7.	CONSTRUCTION BULLETIN 2	10/14/14	7
8.	UPDATED SBO SUBMITTAL	04/24/15	15

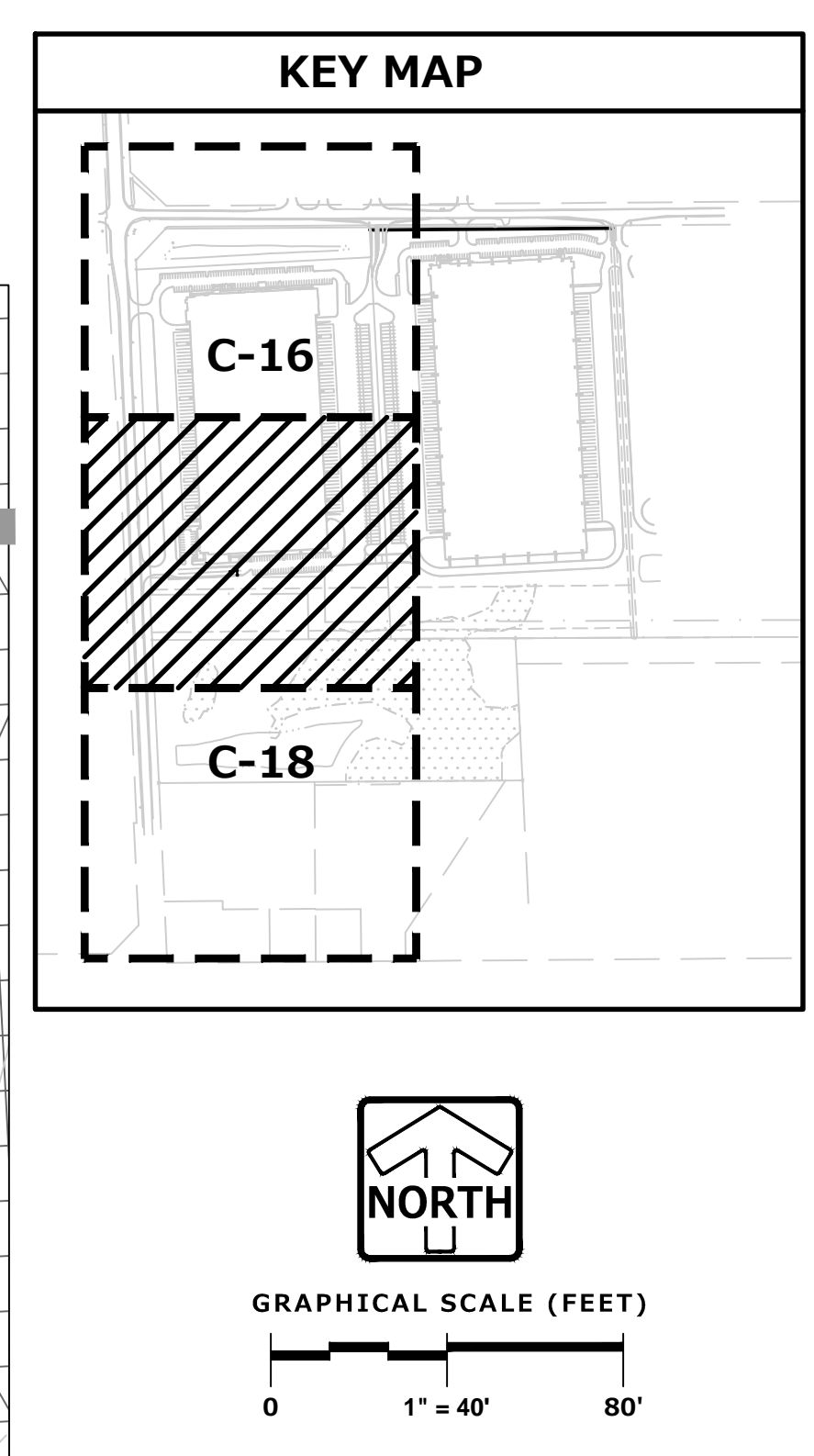
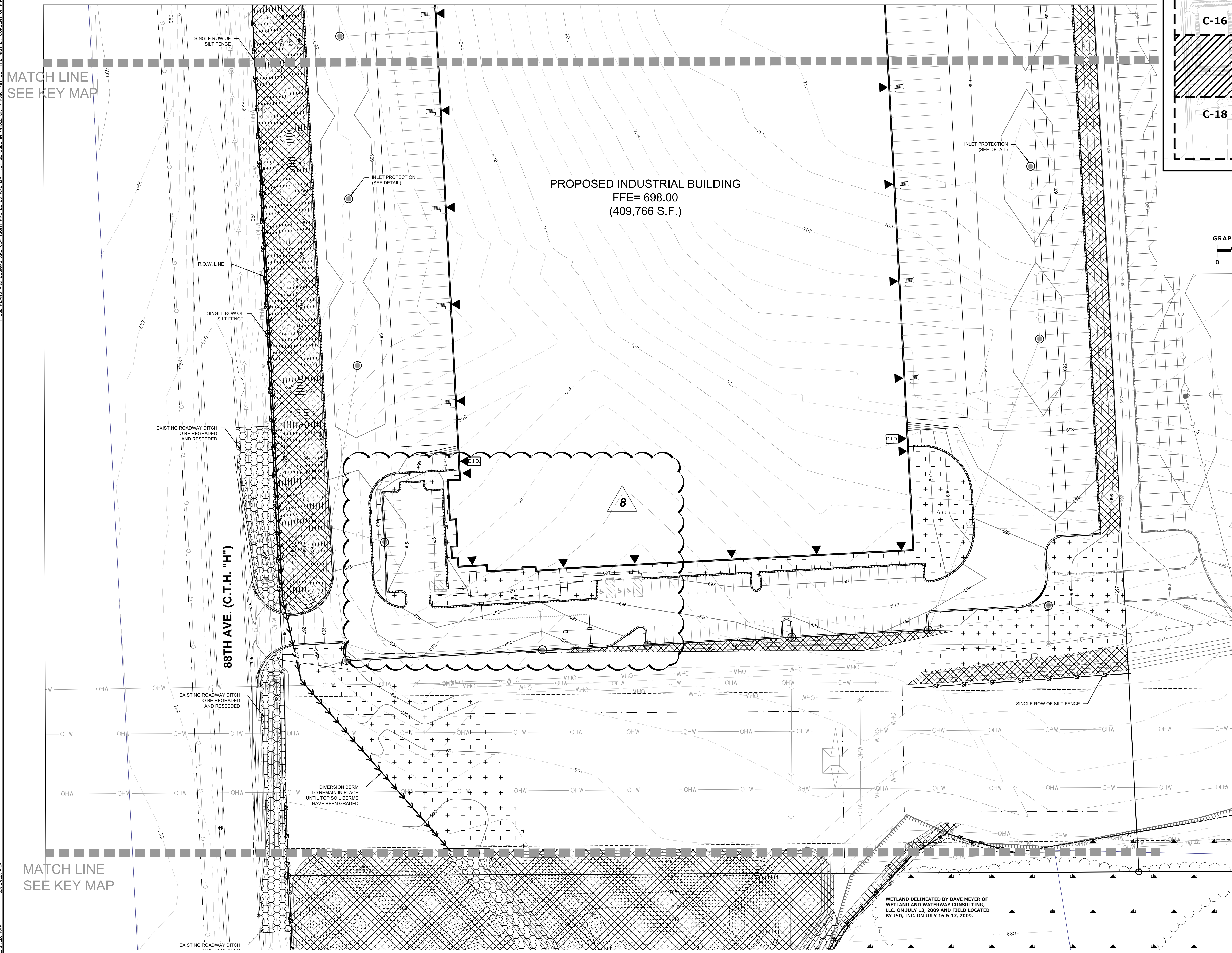
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UTILITY PLAN

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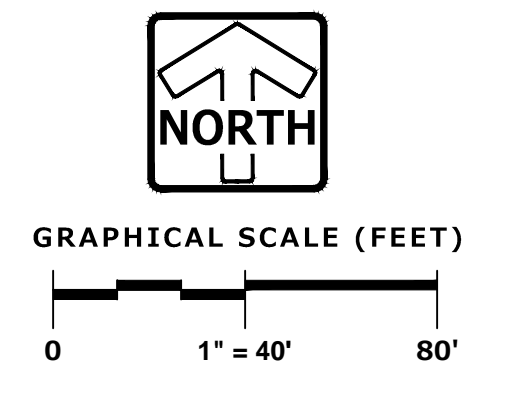
UTILITY PLAN

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 DESIGNED: ABA
 REVIEWED: ABA
 BRACKETED: RIP

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THEREOF. IF ADDITIONAL UTILITIES ARE KNOWN TO EXIST ON THE PROPERTY, THE OWNER WILL PROVIDE EXISTING PLANS OF OTHER UTILITIES SERVING THE SITE AND THE BUILDING THAT OTHERWISE CANNOT BE LOCATED BY A VISUAL OBSERVATION OF THE PROPERTY OR OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.



LEGEND	
	SANITARY MANHOLE
	STORM MANHOLE
	CATCH BASIN
	INLET
	PRECAST FLARED END SECTION
	CONCRETE HEADWALL
	VALVE VAULT
	VALVE BOX
	FIRE HYDRANT
	BUFFALO BOX
	CLEANOUT
	CONTOUR
	SPOT ELEVATION
	WETLANDS
	FLOODWAY
	FLOODPLAIN
	HIGH WATER LEVEL (HWL)
	NORMAL WATER LEVEL (NWL)
	DIRECTION OF SURFACE FLOW
	DITCH OR SWALE
	DIVERSION SWALE
	OVERFLOW RELIEF ROUTING
	FENCE LINE, TEMPORARY SILT PROTECTION FENCE
	INLET PROTECTION (SEE DETAIL)
	CONSTRUCTION ENTRANCE
	HYDROSEED (PER MANUFACTURER'S SPECIFICATIONS)
	EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S75 OR EQUAL)
	EROSION CONTROL BLANKET - CHANNEL
	PROPOSED RIP RAP



GENERAL EROSION AND SEDIMENT CONTROL NOTES

- ALL CONSTRUCTION SHALL ADHERE TO THE REQUIREMENTS SET FORTH IN EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) STORMWATER GENERAL PERMIT (SWPMP) PERMIT NO. WIS0007851-01 FOR CONSTRUCTION SITE LAND DISTURBANCE ACTIVITIES. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL TECHNICAL STANDARDS AND PROVISIONS IN EFFECT AT THE TIME OF CONSTRUCTION. THESE PROCEDURES AND STANDARDS SHALL BE REFERRED TO AS BEST MANAGEMENT PRACTICES (BMPs). IT IS THE RESPONSIBILITY OF ALL CONTRACTORS ASSOCIATED WITH THE PROJECT TO OBTAIN A COPY OF, AND UNDERSTAND, THE BMPs PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
- THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL CONTROL MEASURES AS DIRECTED BY OWNER/ENGINEER OR GOVERNING AGENCIES SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- MODIFICATIONS TO THE APPROVED SWPPP IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS ARE ALLOWED IF MODIFICATIONS CONFORM TO BMPs. ALL MODIFICATIONS MUST BE APPROVED BY OWNER/ENGINEER/GOVERNING AGENCY PRIOR TO DEVIATION OF THE APPROVED PLAN.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE AND EXISTING INLET PROTECTION) PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE COVER, AS SHOWN ON PLAN IN ORDER TO PROTECT ADJACENT PROPERTIES/STORM SEWER SYSTEMS FROM SEDIMENT TRANSPORT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. CONTRACTOR IS RESPONSIBLE TO COORDINATE LOCATIONS WITH THE PROPER AUTHORITIES, PROVIDE NECESSARY FEES AND OBTAIN ALL REQUIRED APPROVALS OR PERMITS. ADDITIONAL CONSTRUCTION ENTRANCES OTHER THAN AS SHOWN ON THE PLANS MUST BE APPROVED BY THE APPLICABLE GOVERNING AGENCIES PRIOR TO INSTALLATION.
- PAVED SURFACES ADJACENT TO CONSTRUCTION ENTRANCES SHALL BE SWEEP AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT AND/OR DUST IMMEDIATELY AND AS REQUESTED BY THE GOVERNING AGENCIES.
- ALL EXISTING STORM SEWER FACILITIES THAT WILL COLLECT RUNOFF FROM DISTURBED AREAS SHALL BE PROTECTED TO PREVENT SEDIMENT DEPOSITION WITHIN STORM SEWER SYSTEMS. INLET PROTECTION SHALL BE IMMEDIATELY FITTED AT THE INLET OF ALL INSTALLED STORM SEWER AND SILT FENCE SHALL BE IMMEDIATELY FITTED AT ALL INSTALLED CULVERT INLETS, ALL INLETS, STRUCTURES, PIPES, AND SWALES SHALL BE KEPT CLEAN AND FREE OF SEDIMENTATION AND DEBRIS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, WATER MAIN, ETC.) OUTSIDE OF THE PERIMETER CONTROLS SHALL INCORPORATE THE FOLLOWING:
 PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 BACKFILL, COMPACT AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH BMPs PRIOR TO RELEASE INTO STORM SEWER OR DITCHES.
- AT A MINIMUM, SEDIMENT BASINS AND NECESSARY TEMPORARY DRAINAGE PROVISIONS SHALL BE CONSTRUCTED AND OPERATIONAL BEFORE BEGINNING OF SIGNIFICANT MASS GRADING OPERATIONS TO PREVENT OFFSITE DISCHARGE OF UNTREATED RUNOFF.
- ALL WATERCOURSES AND WETLANDS SHALL BE PROTECTED WITH SILT FENCE TO PREVENT ANY DIRECT DISCHARGE FROM DISTURBED SOILS.
- ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES MUST BE MAINTAINED AND REPAIRED AS NEEDED. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR INSPECTION AND REPAIR DURING CONSTRUCTION. THE OWNER WILL BE RESPONSIBLE IF EROSION CONTROL IS REQUIRED AFTER THE CONTRACTOR HAS COMPLETED THE PROJECT.
- TOPSOIL STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE AND PERIMETER SILT FENCE TO CONTROL SILT. IF TOPSOIL STOCKPILE REMAINS UNDISTURBED FOR MORE THAN SEVEN (7) DAYS, TEMPORARY SEEDING AND STABILIZATION IS REQUIRED.
- EROSION CONTROL MEASURES TEMPORARILY REMOVED FOR UNAVOIDABLE CONSTRUCTION ACTIVITIES SHALL BE IN WORKING ORDER IMMEDIATELY FOLLOWING COMPLETION OF SUCH ACTIVITIES OR PRIOR TO THE COMPLETION OF EACH WORK DAY, WHICHEVER OCCURS FIRST.
- MAINTAIN SOIL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THIS PROJECT. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER FINAL SITE STABILIZATION IS ACHIEVED OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED. DISTURBANCES ASSOCIATED WITH EROSION CONTROL REMOVAL SHALL BE IMMEDIATELY STABILIZED.
- PUMPS MAY BE USED AS BYPASS DEVICES. IN NO CASE SHALL PUMPED WATER BE DIVERTED OUTSIDE THE PROJECT LIMITS. PUMP DISCHARGE SHALL BE DIRECTED INTO AN APPROVED FILTER BAG OR APPROVED SETTLING DEVICE.
- GRADING EFFORTS SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. EROSION AND SEDIMENT CONTROL MEASURES SHALL CONSIDER THE TIME OF YEAR, SITE CONDITIONS, AND THE USE OF TEMPORARY OR PERMANENT MEASURES. ALL DISTURBED AREAS THAT WILL NOT BE WORKED FOR A PERIOD OF THIRTY (30) DAYS REQUIRE TEMPORARY SEEDING FOR EROSION CONTROL. SEEDING FOR EROSION CONTROL SHALL BE IN ACCORDANCE WITH TECHNICAL STANDARDS.
- ALL DISTURBED SLOPES EXCEEDING 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S7584 EROSION MATTING (OR APPROVED EQUAL) AND ALL CHANNELS SHALL BE STABILIZED WITH NORTH AMERICAN GREEN C12584 (OR APPROVED EQUAL) OR APPLICATION OF AN APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. EROSION MATTING AND/OR NETTING USED ON SITE SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
- DURING PERIODS OF EXTENDED DRY WEATHER, THE CONTRACTOR SHALL KEEP A WATER TRUCK ON SITE FOR THE PURPOSE OF WATERING DOWN SOILS WHICH MAY OTHERWISE BECOME AIRBORNE. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING WIND EROSION (DUST) DURING CONSTRUCTION AT HIS/HER EXPENSE.
- DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE VISUALLY INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM ON A DAILY BASIS.
- QUALIFIED PERSONNEL (PROVIDED BY THE GENERAL/PRIME CONTRACTOR) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED AND EROSION AND SEDIMENT CONTROLS WITHIN 24 HOURS OF ALL 0.5-INCH, OR MORE, PRECIPITATION EVENTS WITH A MINIMUM INSPECTION INTERVAL OF ONCE EVERY SEVEN (7) CALENDAR DAYS IN THE ABSENCE OF A QUALIFYING RAIN OR SNOWFALL EVENT. REPORTING SHALL BE IN ACCORDANCE WITH THE GENERAL PERMIT. CONTRACTOR SHALL IMMEDIATELY ARRANGE TO HAVE ANY DEFICIENT ITEMS REVEALED DURING INSPECTIONS REPAIRED/REPLACED.
- SEE ADDITIONAL DETAILS AND NOTES ON SITE STABILIZATION AND CONSTRUCTION DETAILS.

CONSTRUCTION SITE SEQUENCING

- INSTALL PERIMETER SILT FENCE, INLET PROTECTION AND TEMPORARY CONSTRUCTION ENTRANCE.
 - STRIP AND STOCKPILE TOPSOIL, INSTALL SILT FENCE AROUND PERIMETER OF STOCKPILE.
 - CONDUCT ROUGH GRADING EFFORTS AND INSTALL CHECK DAMS AND SEDIMENT TRAPS/BASINS AS NEEDED.
 - INSTALL UTILITY PIPING AND STRUCTURES. IMMEDIATELY INSTALL INLET PROTECTION.
 - COMPLETE FINAL GRADING, INSTALLATION OF GRAVEL BASE COURSES, PLACEMENT OF CURBS, PAVEMENTS, WALKS, ETC.
 - PLACE TOPSOIL AND IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROLS.
 - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVING AN ESTABLISHED VEGETATIVE COVER.
- CONTRACTOR MAY MODIFY SEQUENCING AFTER ITEM 1 AS NEEDED TO COMPLETE CONSTRUCTION IF EROSION CONTROLS ARE MAINTAINED IN ACCORDANCE WITH THE CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS.

REVISIONS	
1. PER VILLAGE COMMENTS	5/21/2019
2. BID SET	06/09/19
3. VILLAGE COMMENTS	06/24/19
4. SIMULTANEOUS BLDG CONSTRUCTION	07/15/19
5. FINAL CONSTRUCTION PLANS	07/22/19
6. CONSTRUCTION BULLETIN 1	08/14/19
7. CONSTRUCTION BULLETIN 2	10/14/19
8. UPDATED SBO SUBMITTAL	04/24/15

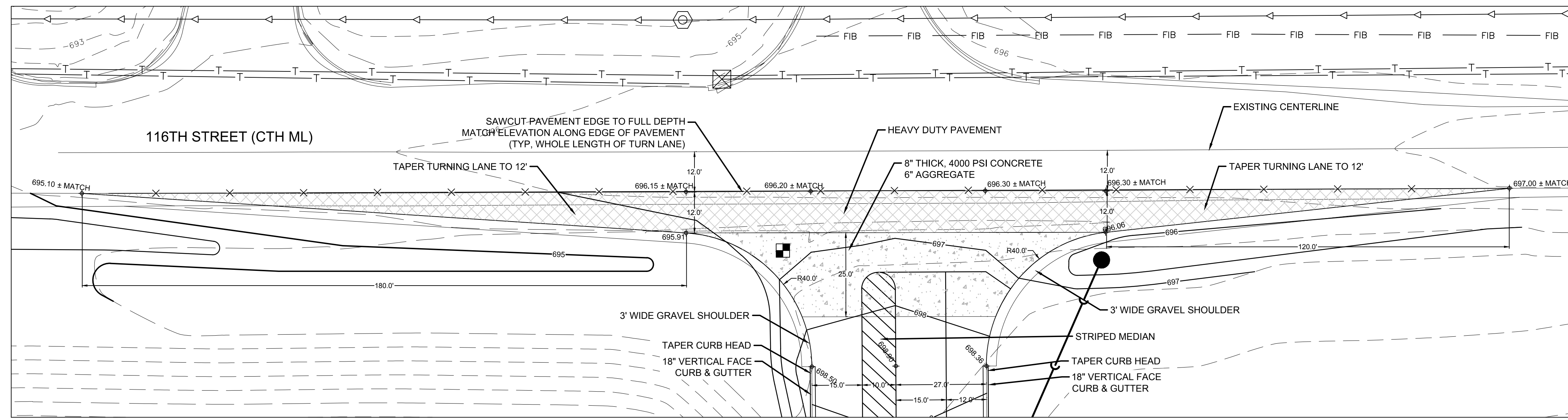
PLAN | DESIGN | DELIVER
 www.pinnacle-engr.com
PINNACLE ENGINEERING GROUP
 ENGINEERING | NATURAL RESOURCES | SURVEYING
 WISCONSIN OFFICE: 15850 W. BLUEMOUND ROAD, BROOKFIELD, WI 53005 (262) 754-8888
 CHICAGO | MILWAUKEE | NATIONWIDE

LOT 118 AT LAKEVIEW CORPORATE PARK
PLEASANT PRAIRIE, WI

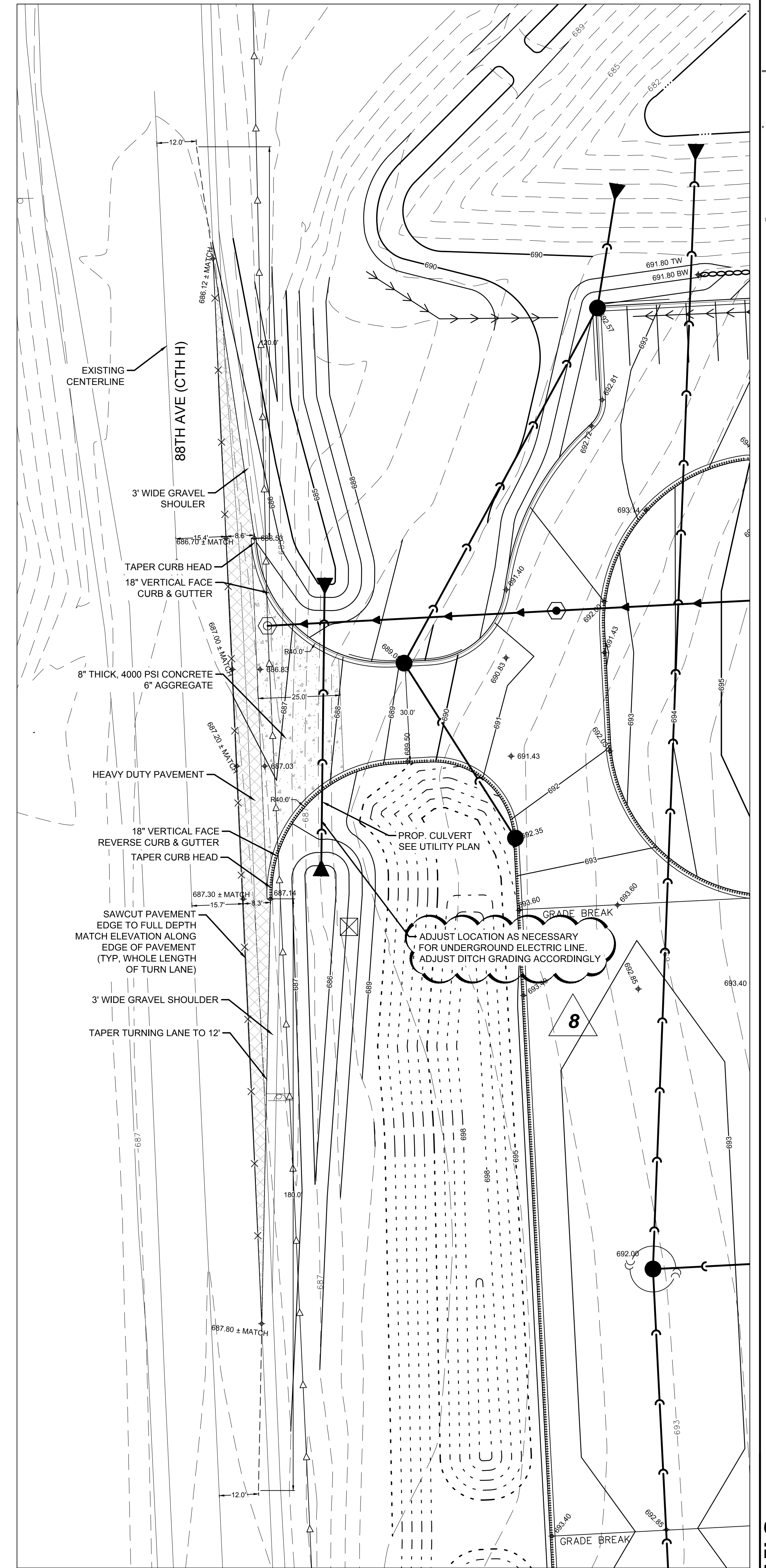
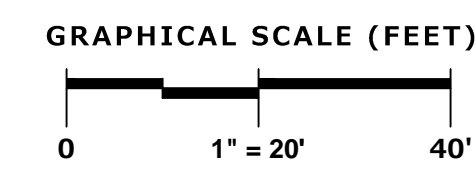
SITE STABILIZATION & EROSION CONTROL PLAN

REVISIONS
 REG. JOB NO. 172,000
 ABA
 SHEET C-17 of C-22
 START DATE 05/20/19
 SCALE
 www.pinnacle-engr.com

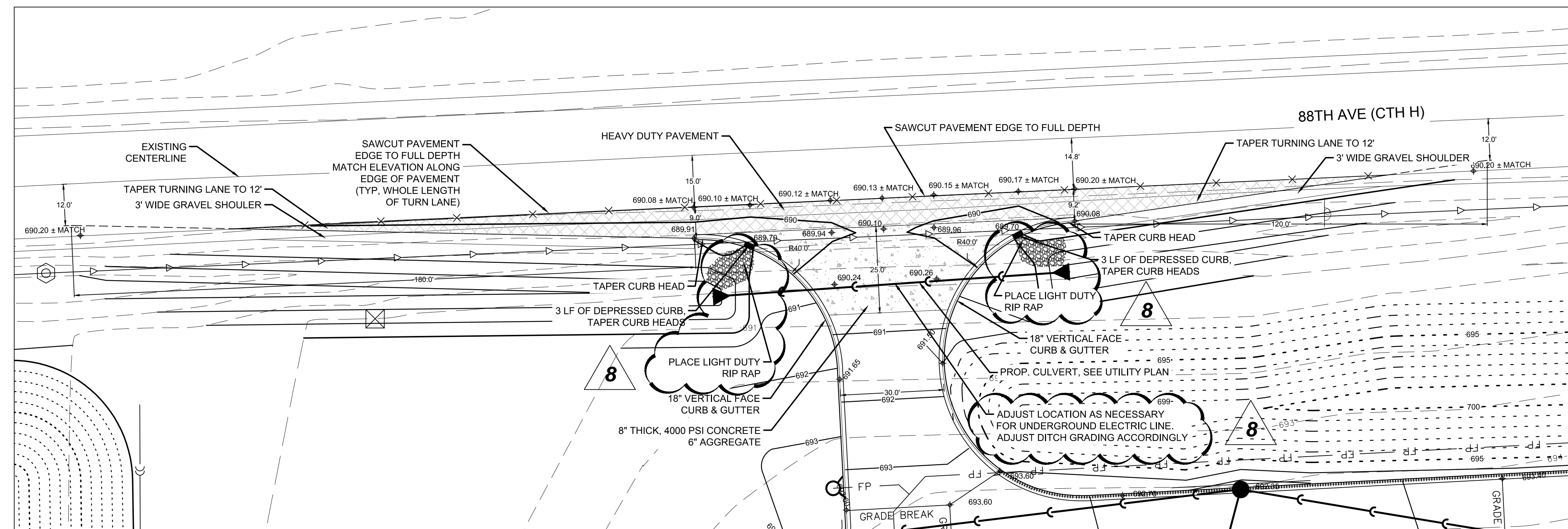
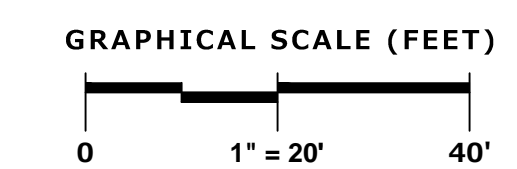
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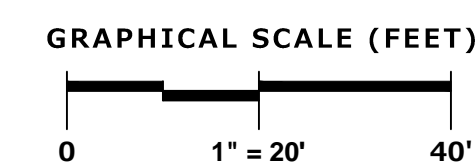
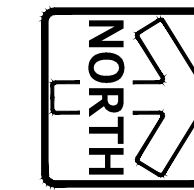
NORTH DRIVEWAY ENTRANCE 1



NORTHWEST DRIVEWAY ENTRANCE



SOUTHWEST DRIVEWAY ENTRANCE

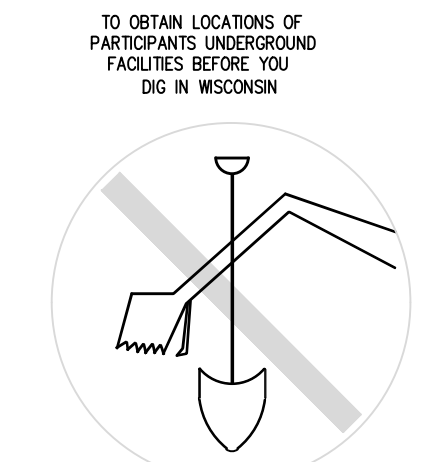


DESIGNED: ABA
DRAWN: BRP
REVIEWED: ABA

REVISIONS			
1. PER VILLAGE COMMENTS	5/21/2014	5. FINAL CONSTRUCTION PLANS	07/22/14
2. BID SET	06/09/14	6. CONSTRUCTION BULLETIN 1	08/14/14
3. VILLAGE COMMENTS	06/24/14	7. CONSTRUCTION BULLETIN 2	10/14/14
4. SIMULTANEOUS BLDG CONSTRUCTION	07/15/14	8. UPDATED SBO SUBMITTAL	04/24/15
7.A.T.C. COMMENTS			

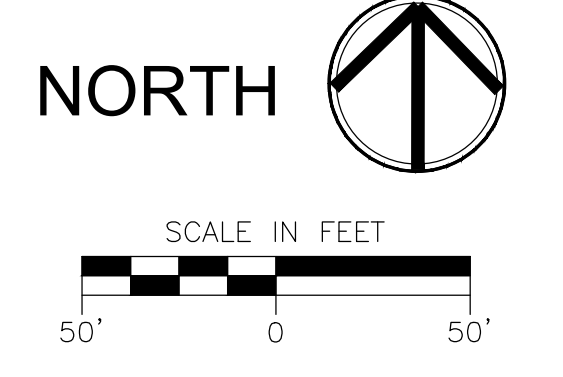
REG. JOB NO. 172.00
REG. JOB ABA
START DATE 05/20/14
SCALE

SHEET C-22 of C-22



CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE
WIS STATUTE 182.07(5)(1974)
SECURED MR. 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE
MILW. AREA 259-1181

CHECK WITH PROPERTY OWNER BEFORE
EXCAVATION FOR LOCATIONS OF PRIVATE
AND PUBLIC UNDERGROUND UTILITIES AND
FIXTURES WHICH MAY OR MAY NOT BE
MARKED BY "DIGGERS HOTLINE"



PROJECT NAME
LV 18

PROJECT LOCATION
**Lakeview Corporate Park
Hwy ML & Hwy H
Pleasant Prairie, Wisconsin**

CLIENT NAME & ADDRESS
**CenterPoint Properties
1808 Swift Dr.
Oak Brook, IL 60523**



SHEET TITLE
LANDSCAPE PLAN

REVISIONS
Date: 4/23/2015 By: LWW

PREPARED BY:
**landscape management
KENOSHA GROUNDS CARE**
Design Construction Maintenance
8300 88th Avenue • Pleasant Prairie, WI 53158 • 262.694.8960
E-Mail: info@kpc.com Fax: 262.694.9599

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UNLESS EXPRESSLY APPROVED.

FILE NAME: **LOT118**
DRAWN BY: **LW/RJO**
CHECKED BY: **RJO**
KGC PROJECT #
DATE: **4/23/2015**
SHEET NO.

PLANT SCHEDULE

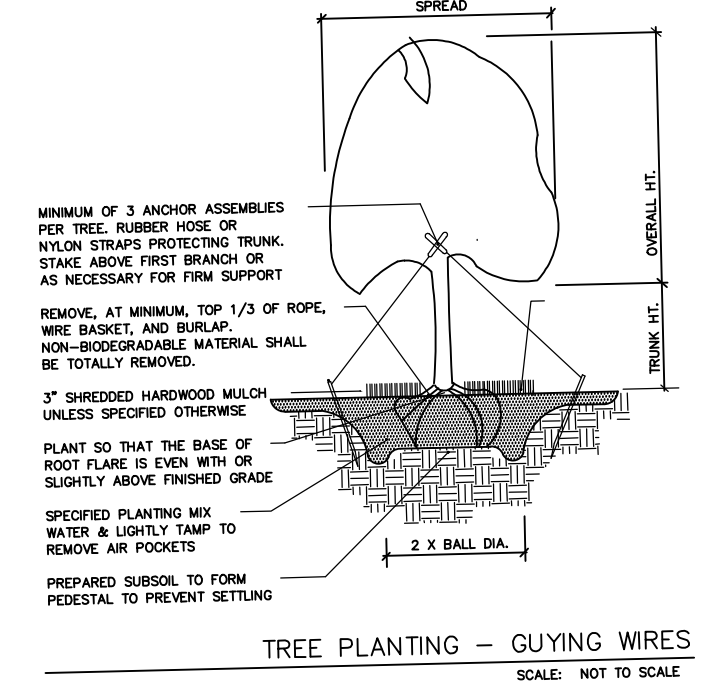
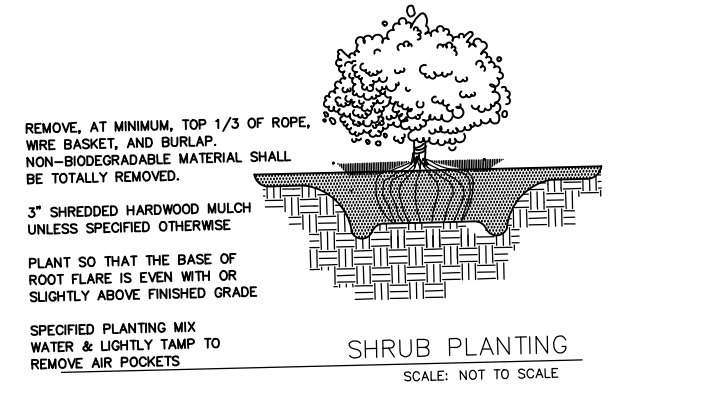
TREES				
CODE	SCIENTIFIC NAME	COMMON NAME	QTY.	PLANTING SIZE
ACMI	Acer miyabei	State Street Miyabei Maple	3	2" Cal. B&B
AMEL	Amelanchier grand. 'Aut Brilliance'	'Aut. Brilliance' Serviceberry	4	6" B&B
GLTR	Gleditsia triacanthos	Honeylocust	6	2" Cal. B&B
MALM	Magnolia 'Leonard Messel'	'Leonard Messel' Magnolia	3	6" B&B
PIAB	Picea abies	Norway Spruce	14	6" B&B
PIDE	Picea glauca 'densata'	Black Hills Spruce	20	6" B&B
PYCA	Pyrus calleryana 'Chanticleer'	Chanticleer Pear Tree	8	2" Cal. B&B
QUMA	Quercus macrocarpa	Burr Oak	3	2" Cal. B&B
SYTS	Syringa reticulata Ivory Silk	Japanese Tree Lilac	8	2" Cal. B&B
TIAM	Tilia americana Sentry	Sentry Linden	6	2" Cal. B&B
TICO	Tilia cordata	Greenspire Linden	7	2" Cal. B&B
ULTR	Ulmus x Triumph	Triumph Elm	3	2" Cal. B&B

SHRUBS				
CODE	SCIENTIFIC NAME	COMMON NAME	QTY.	PLANTING SIZE
HYPW	Hydrangea pan. 'Pinky Winky'	Pinky Winky Hydrangea	22	5 gal
JUKC	Juniperus chinensis 'Kallay Compact'	Kallay Compact Juniper	50	5 gal
JUSA	Juniperus chinensis 'Sargentii'	Sargent Juniper	36	5 gal
ROKO	Rosa 'knockout' Red	Knockout Red Rose	51	3 gal
SYME	Syringa meyeri 'Palibin'	Dwarf Korean Lilac	20	5 gal
SYPA	Syringa patula 'Miss Kim'	Miss Kim Lilac	28	5 gal
VIDE	Viburnum dentatum	Arrowwood Viburnum	28	5 gal

PERENNIALS				
CODE	SCIENTIFIC NAME	COMMON NAME	QTY.	PLANTING SIZE
CAKF	Calamagrostis acut. 'Karl Forester'	Karl Forester Reed Grass	39	1 gal
MIVA	Miscanthus variegatus	Variegated Maiden Grass	48	1 gal
SEAJ	Sedum septabile 'Autumn Joy'	Autumn Joy Sedum	117	1 gal

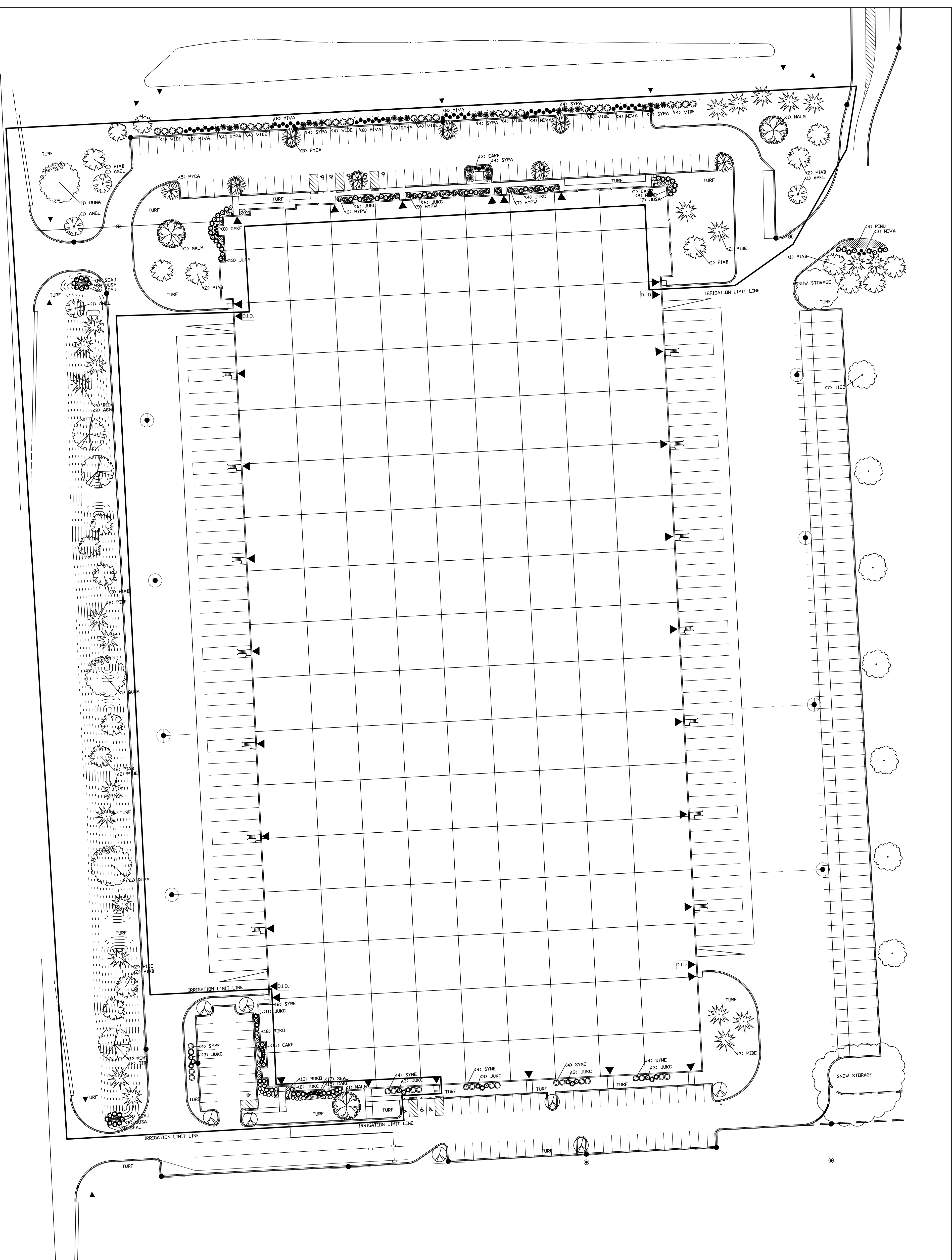
GENERAL LANDSCAPE NOTES:

- Notify DIGGERS HOTLINE, general contractor, and owner prior to the commencement of any digging/clearing operations for locations of private and public utilities.
- All finish grades to be flush with top of curbs, retaining walls and pavement.
- All plant material shall conform to American Standard for Nursery Stock as prepared by the American Association of Nurserymen, Inc.
- Any plant or material substitutions to be approved by owner prior to installation.
- All plants to be located according to the plan and planted in holes at least twice the size of the plant root ball. If plant symbol count varies from plant table, the symbol count will be used.
- All plantings to be topdressed with three inches of shredded hardwood mulch.
- Amend planting beds with a minimum of 2" of fully decomposed compost and till to a minimum depth of 6" prior to planting.
- Topsoil backfill shall be topsoil that is fertile, friable, natural loam surface soil reasonably free from subsoil, clay lumps, brush, weeds, litter, and free of roots, stumps, stones larger than 1", and other extraneous or toxic material harmful to plant growth.
- All areas disturbed during construction and indicated as "TURF" shall be fine graded, fertilized, seeded, and hydromulched unless otherwise indicated otherwise on the plan.
- All plants to receive 3 year slow release fertilizer packets (or equal) at a rate of 2 per caliper inch of tree and 3 per shrub.
- Guarantee all plant material including perennials, seed, and sod for a period of not less than one full growing season beginning the spring following project completion.
- Water all plantings, including sod, immediately after installation and continue to water as needed until project is completed and accepted by owner.
- All planting bed shall have 2 inch shovel cut edges unless noted otherwise on the plan.
- Plants symbols shown on this plan are indicated at approximate mature size.
- Spray kill, fine grade, seed, fertilize and hydromulch ROW easement areas to match property seeding.

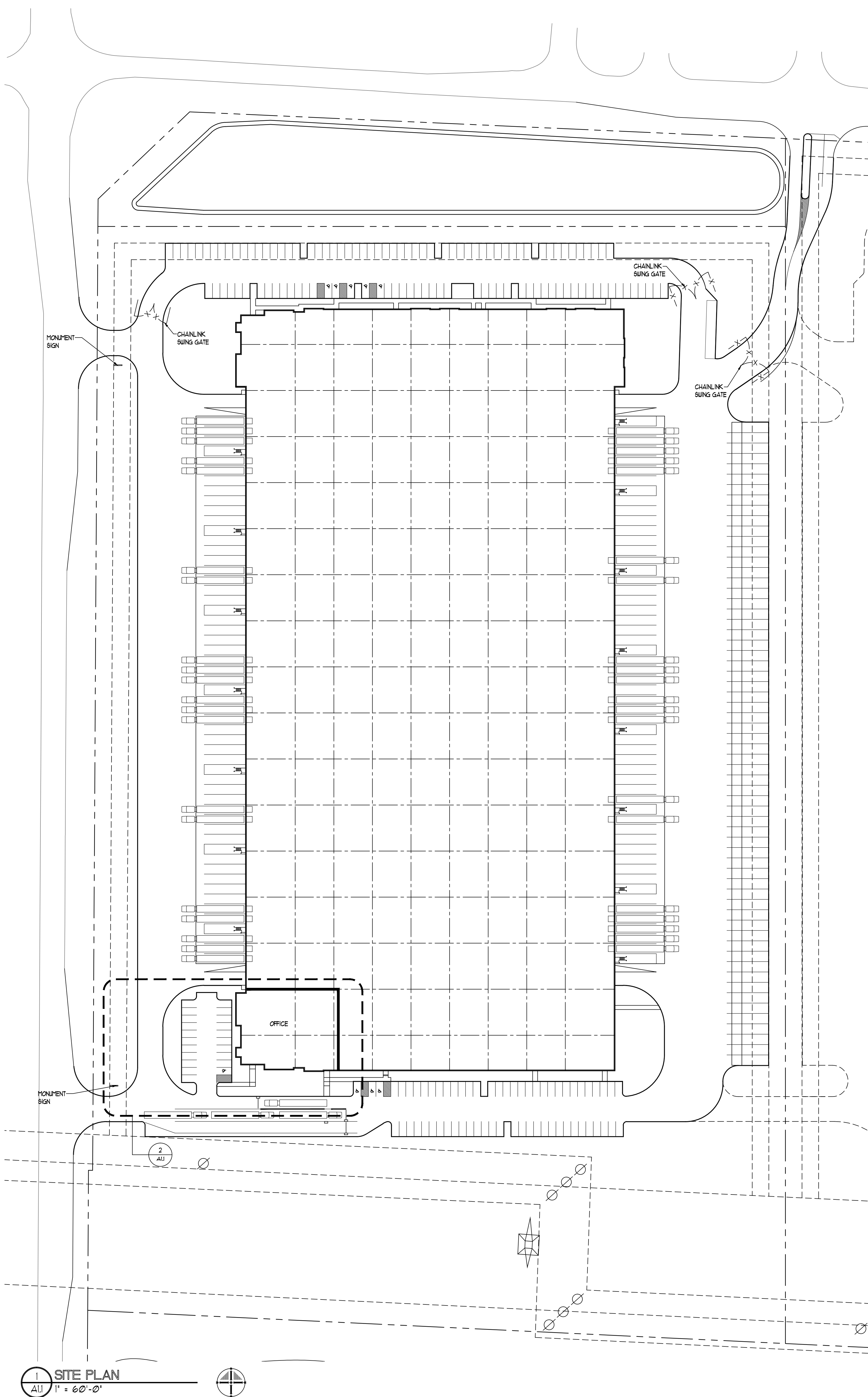


GENERAL IRRIGATION NOTES:

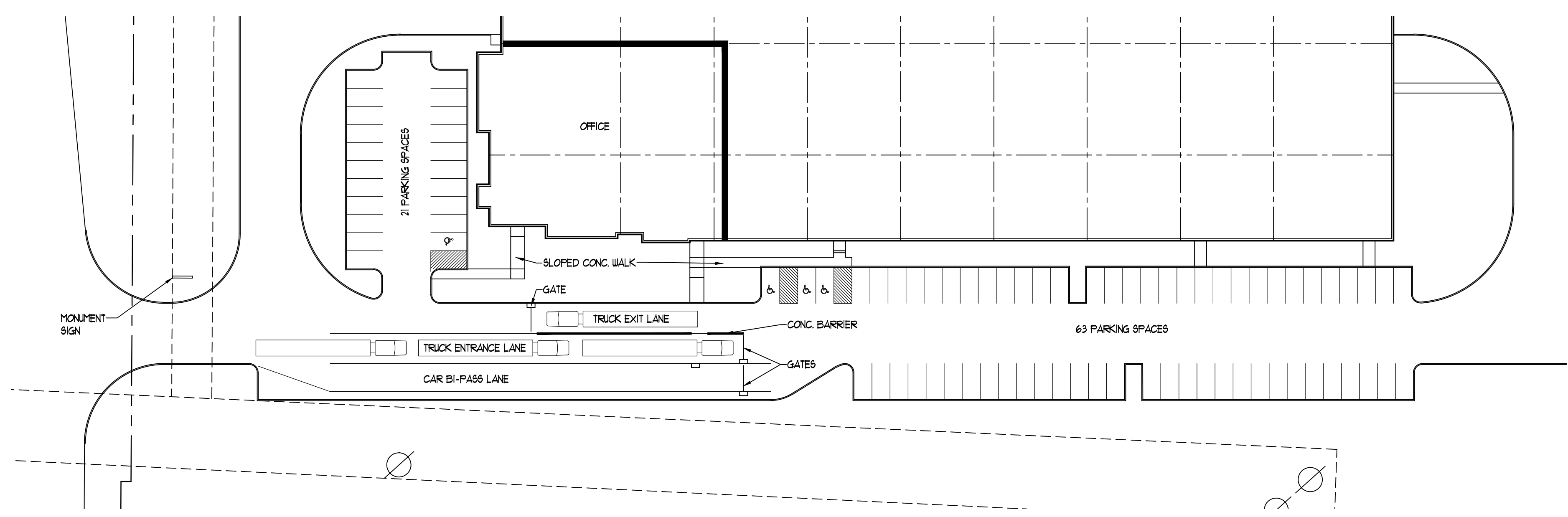
- Design and build lawn irrigation system, using accepted Wisconsin weather industry standards.
- Notify DIGGERS HOTLINE, general contractor, and owner prior to the commencement of any digging operations for locations of private and public utilities.
- All sprinkler main lines, zone lines, and wiring will be installed in PVC sleeves where they will be under a hard surface. All sleeves will be installed as part the design build and backfilled to the subgrade surface with granular material approved by general contractor.
- All sprinkler wiring will allow for a minimum of 3 spare wires at any point along the main line, be installed in PVC or poly conduit, and all connections will be water tight and within valve boxes. Wire color coding and/or markings will remain consistent throughout the system.
- Sprinkler valves will be Rainbird PGA or approved equal and will be installed within valve boxes.
- Sprinkler rotary heads will be Hunter I 20 or approved equal. All rotary and spray sprinkler heads will be installed with a double clamped insert "T" and swing pipe or approved swing joint.
- Sprinkler heads will be located in a pattern which will provide "head to head" coverage without putting water onto hard surfaces or excessively watering planting beds. Overspray onto planting beds shall not exceed 30% of the turf precipitation rate.
- Sprinkler designer will consult with owner's representative with regard to zone wiring sequence.
- Guarantee all sprinkler material including installation for a period of one year, beginning the spring following project completion.
- Plumbing scope to include providing and installing a "T", deduct meter, valve(s), pipe, master valve, vacuum breaker or RPZ, related fittings, and permits as needed, to service the lawn irrigation system. Irrigation service pipe shall end with a horizontal male adapter outside the wall 18"-24" below grade. Irrigation contractor shall provide the plumber, at no cost, the master valve, vacuum breaker or RPZ, and instruction as needed for the installation.
- Electrical scope to include providing and installing a dedicated 120 volt circuit to power the lawn irrigation controller which will be mounted on the outside wall in close proximity to the water service or pump room. Circuit shall have an outdoor rated on/off switch immediately before the controller.



L1.0



1 SITE PLAN
A11 1" = 60'-0"



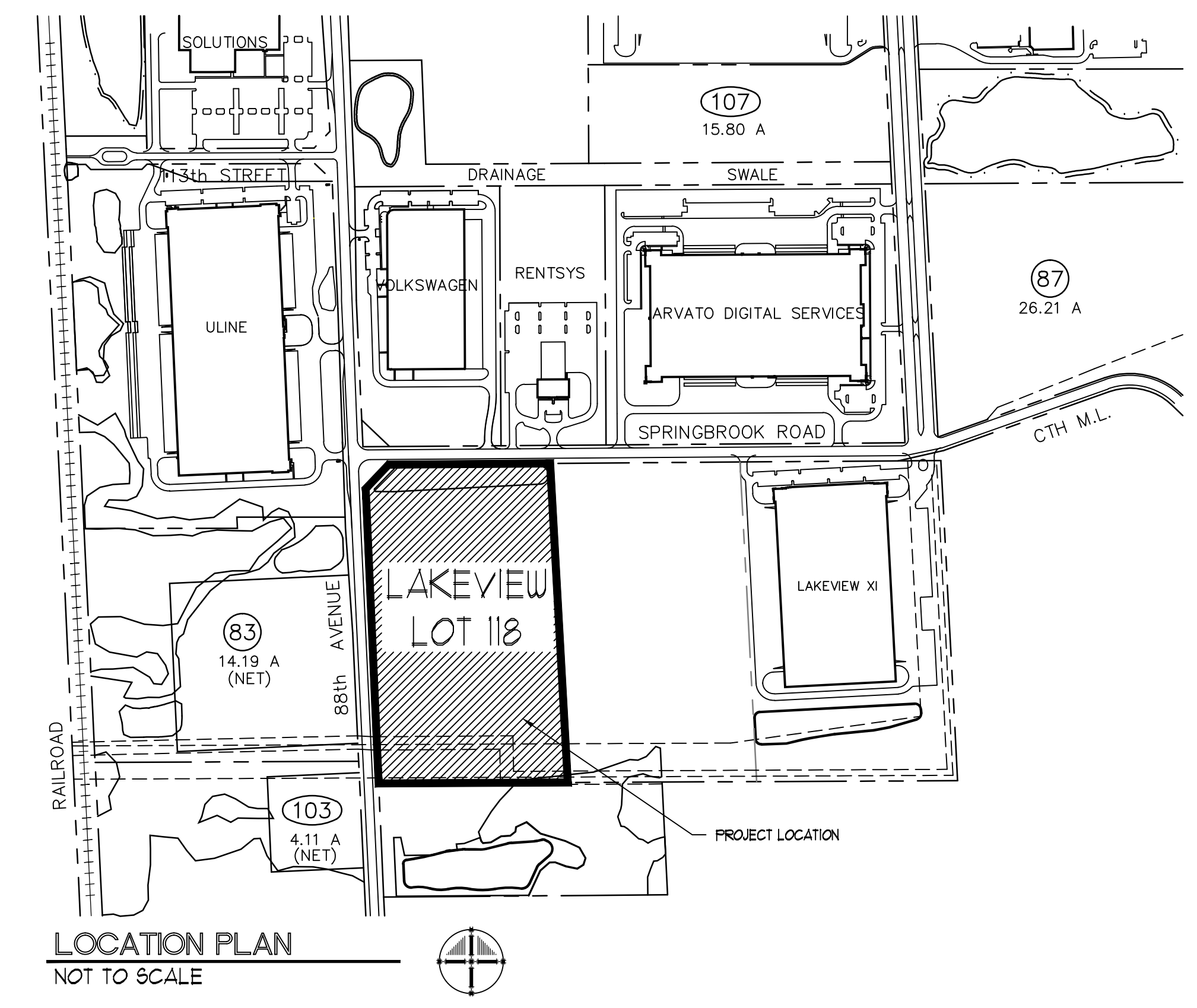
2 ENLARGED PARTIAL SITE PLAN
A11 1" = 40'-0"

PROJECT DEVELOPMENT DATA:

PROPOSED LAKEVIEW LOT 118:	
SITE ZONING:	M-2, GENERAL MANUFACTURING DISTRICT
SITE AREA:	29.36 ACRES (1284812 SF.)
BUILDING AREA:	41285 SF.
BLDG. COVERAGE RATIO:	
BUILDING IMPERVIOUS AREA:	41285 SF.
ALL OTHER IMPERVIOUS AREA:	348384 SF.
TOTAL IMPERVIOUS AREA:	393367 SF.
TOTAL IMPERVIOUS PERCENTAGE:	68.8%
GREENSPACE COVERAGE RATIO:	
TOTAL LANDSCAPED AREA:	344825 SF.
TOTAL LANDSCAPED PERCENTAGE:	31%
PARKING:	
TOTAL CAR SPACES (INCLUDING HANDICAPPED):	231 SPACES
TOTAL TRUCK/DOCK SPACES:	40 DOCK LOCATIONS
TOTAL TRAILER (OFF-BUILDING) SPACES:	63 TRAILER SPACES

GENERAL SITE NOTES:

- ALL SITE LIGHTING SHALL BE DIRECTED DOWNWARDS AND SHALL NOT GLARE ONTO ADJACENT PROPERTIES OR PUBLIC ROADWAYS.
- TRUCKS/TRAILERS PARKED OUTSIDE OF THE FACILITY SHALL NOT BE USED AS A MEANS OF ADDITIONAL STORAGE AND/OR WAREHOUSING SPACE, EXCEPT FOR THOSE TRUCKS/TRAILERS THAT HAVE BEEN LOADED AND ARE AWAITING IMPENDING DELIVERY OR THOSE THAT ARE QUEUE AND ARE AWAITING IMPENDING UNLOADING PROCEDURES.
- AT NO TIME SHALL THERE BE ANY OUTDOOR STORAGE OF PALLETS (WOODEN, PLASTIC, OR METAL), RECYCLING MATERIALS, GARBAGE, LANDSCAPING EQUIPMENT OR LANDSCAPE MATERIALS, ETC.
- PROJECT PARCEL IS ZONED M-2, GENERAL MANUFACTURING DISTRICT.
- THE LOCATION OF ALL CONSTRUCTION TRAILERS PARKED ON THE SITE DURING CONSTRUCTION ACTIVITIES SHALL BE APPROVED BY THE VILLAGE OF PLEASANT PRAIRIE. NO CONSTRUCTION TRAILERS SHALL BE PARKED IN VILLAGE, COUNTY, OR STATE RIGHTS-OF-WAY. ALL CONSTRUCTION RELATED SIGNAGE SHALL BE APPROVED AND PERMITTED BY THE VILLAGE.
- THERE SHALL BE NO CUSTOMER OR EMPLOYEE PARKING PERMITTED ON 88TH AVENUE OR 167TH STREET.
- DUMPSTER/RECYCLING CONTAINERS ARE NOT SHOWN ON PROPOSED SITE PLAN AT THIS TIME. THE LOCATION/SIZE OF SUCH IS TO BE DETERMINED WHEN A TENANT IS OBTAINED AND WILL FOLLOW ALL VILLAGE ORDINANCES. THE LOCATION SHALL BE APPROVED BY THE ZONING ADMINISTRATOR. THE DUMPSTER/RECYCLING AREAS SHALL BE FULLY SCREENED FROM THE PUBLIC VIEW AND ADJACENT HIGHWAY/ROADWAYS.
- WHEN ANY FUTURE PARKING LOT EXPANSIONS OCCUR, PERMITS FROM THE VILLAGE WILL BE REQUIRED AND THE EXPANSION PARKING AREAS, AS WELL AS THE ASSOCIATED MANEUVERING LANES, SHALL INCORPORATE VERTICAL CONCRETE CURB & GUTTER.
- MUNICIPAL UTILITIES SHALL NOT BE BURIED UNDER EARTH BEERS OR TREE LANDSCAPING.



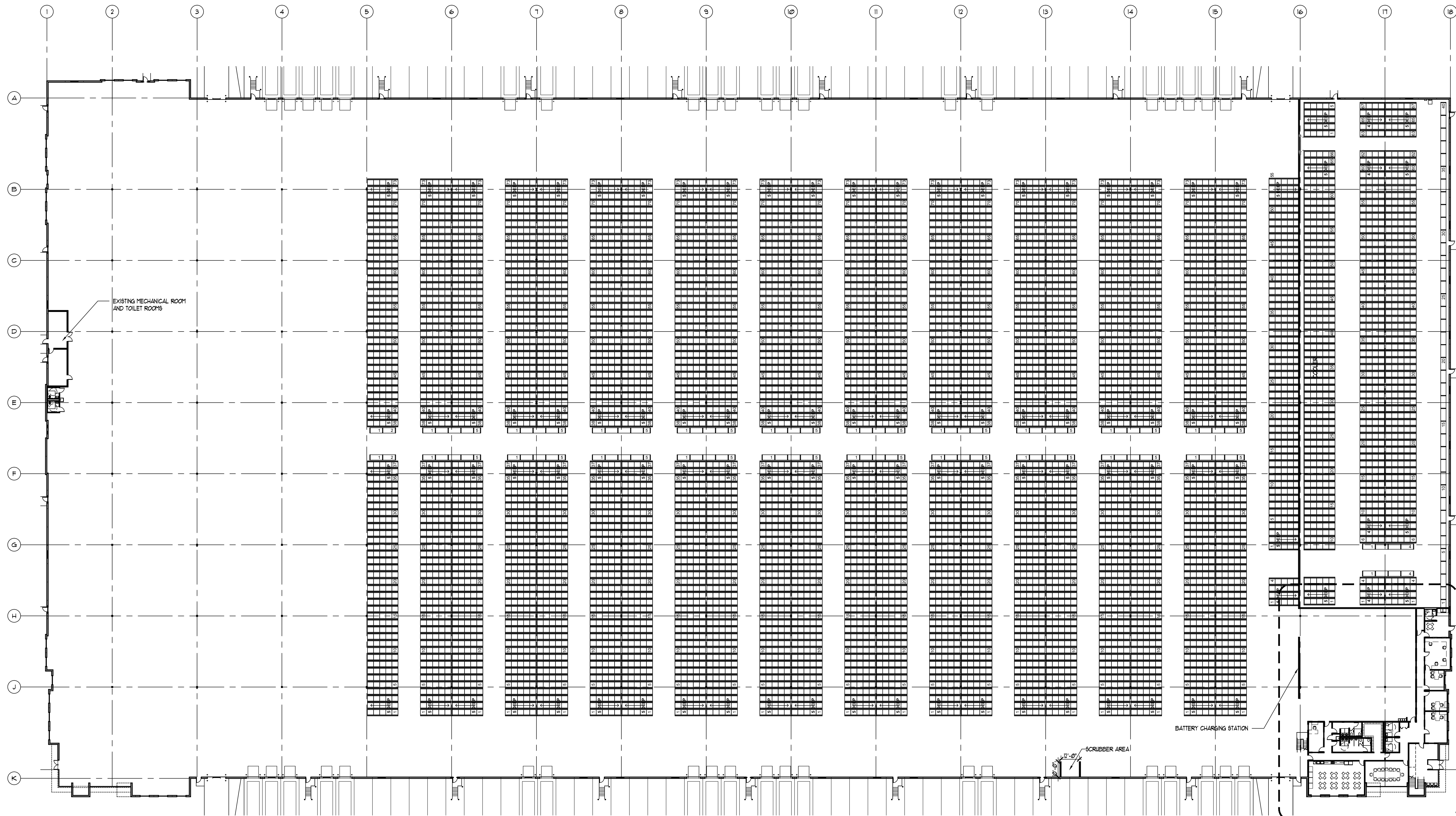
LOCATION PLAN
NOT TO SCALE

2650 Lake Cook Road
 Suite 201
 Riverwoods, IL 60015
 Ph.: (847) 940-0300
 Fax: (847) 940-1905

MRS TENANT IMPROVEMENTS
Lot 118, Lakeview Corporate Park South
SITE PLAN

Partners in Design
ARCHITECTS

PROJECT NO.: 43715-050
 DRAWN BY: JJH CHECKED BY: WJB
 DATE: 04.24.15
 SHEET NO.: A11



1 SITE PLAN
A3.1 1" = 30'-0"



1
A3.2

MRS TENANT IMPROVEMENTS
Lot 118, Lakeview Corporate Park South
FLOOR PLAN

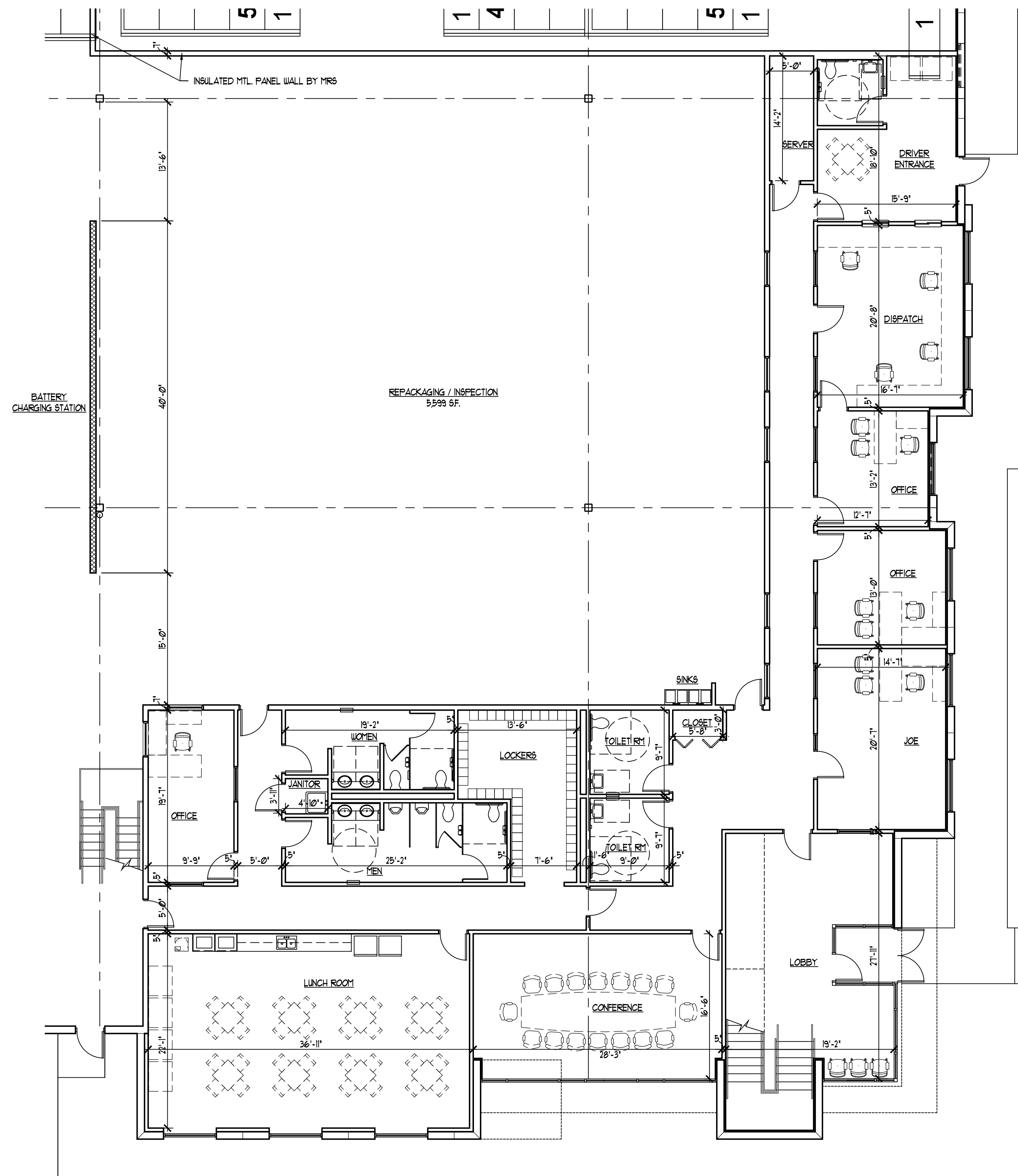
2650 Lake Cook Road
Suite 200
Riverside, IL 60015
Ph: (847) 940-0300
Fax: (847) 940-1905

Partners in Design
ARCHITECTS

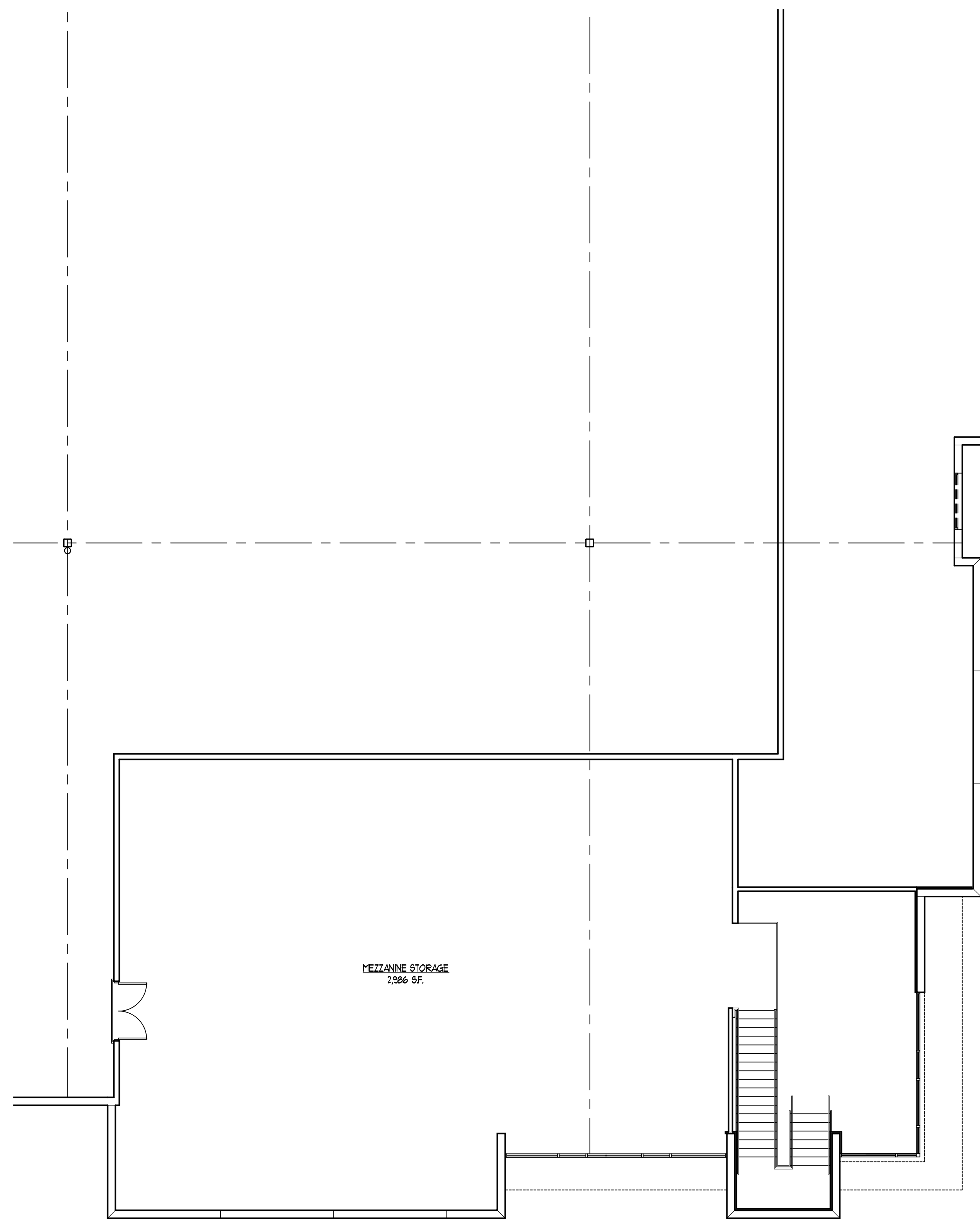


PROJECT NO:
431.15.050
DRAWN BY: JJJ CHECKED BY: WJB
DATE: 04.24.15
SHEET NO:

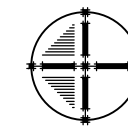
A3.1

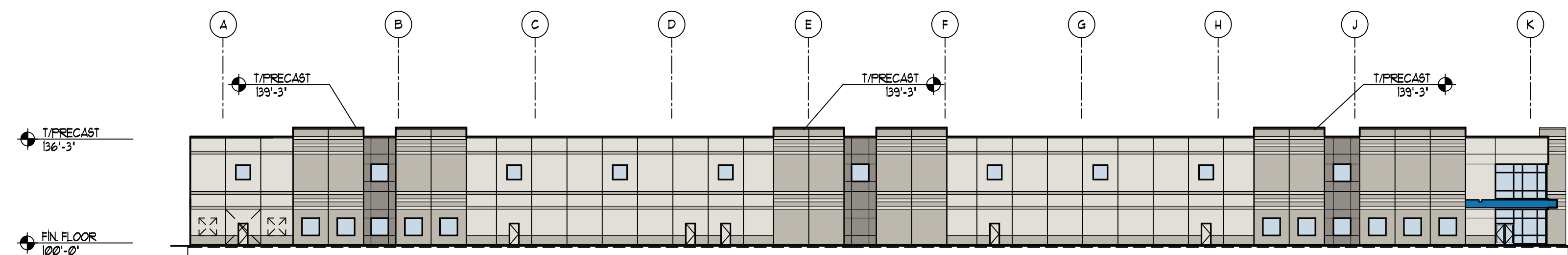


1 FIRST FLOOR PLAN
A32 1/8" = 1'-0"

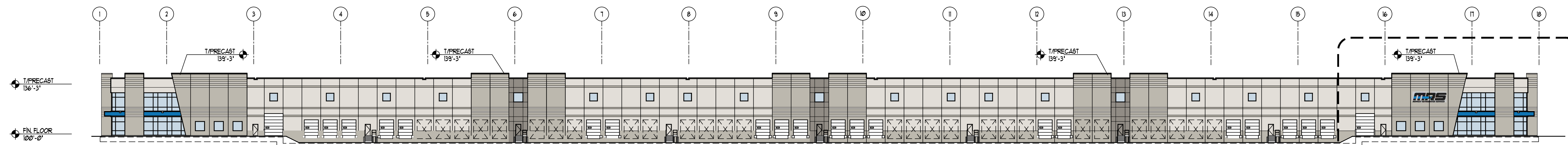


1 MEZZANINE STORAGE FLOOR PLAN
A32 1/8" = 1'-0"

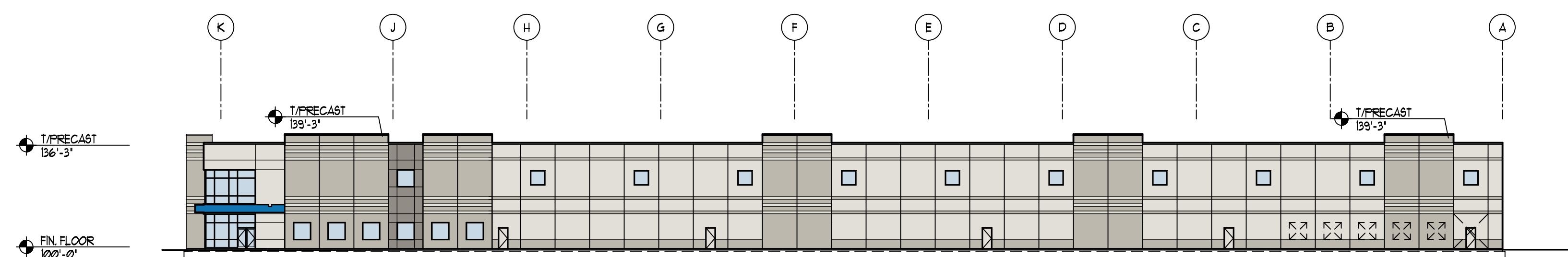




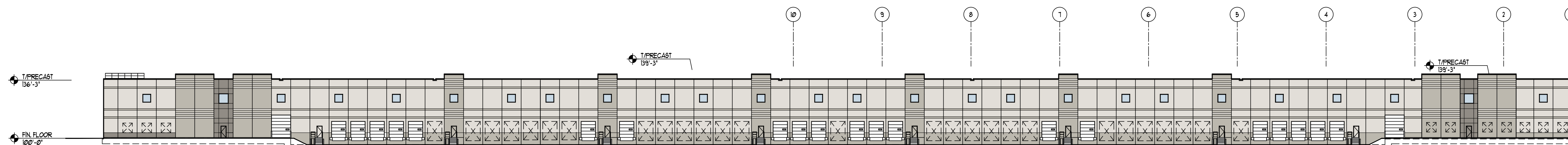
1 NORTH ELEVATION
A4.1 1/32" = 1'-0"



2 WEST ELEVATION
A4.1 1/32" = 1'-0"



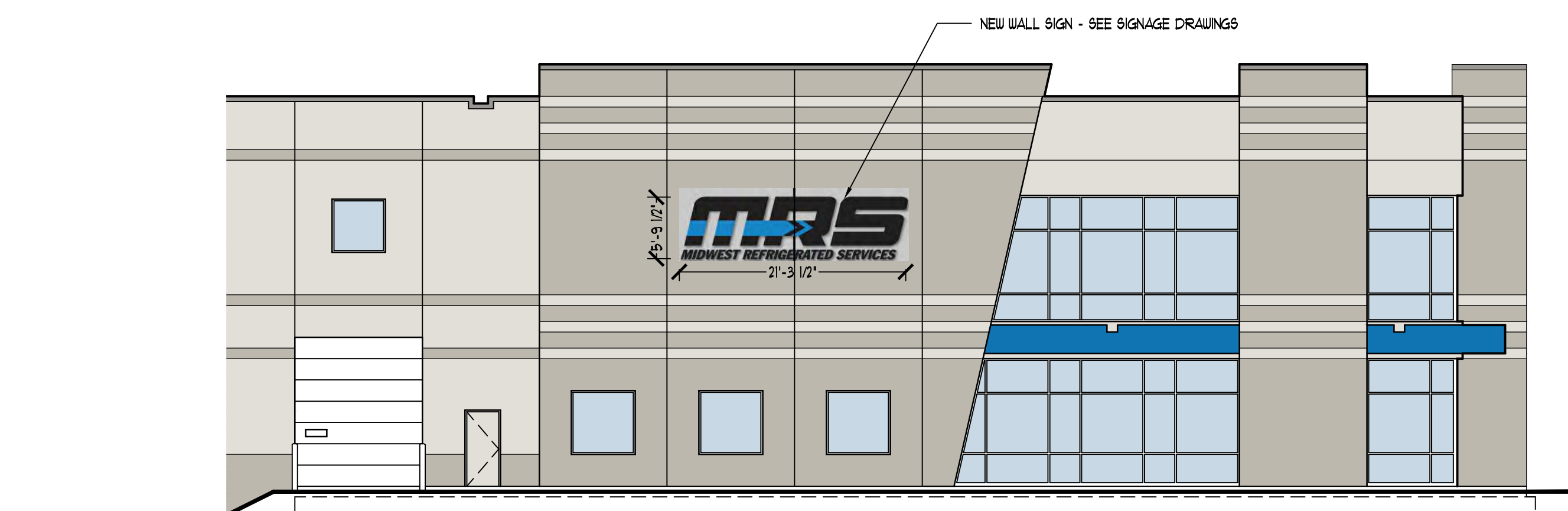
3 SOUTH ELEVATION
A4.1 1/32" = 1'-0"



4 EAST ELEVATION
A4.1 1/32" = 1'-0"

COLOR LEGEND:

	FIELD COLOR - SHERWIN WILLIAMS EIDER WHITE SUT014
	ACCENT COLOR - SHERWIN WILLIAMS MINDRAL GRAY SUT016
	ACCENT COLOR - SHERWIN WILLIAMS DOVETAIL SUT018
	METAL CANOPY COLOR.



5 SIGNAGE ELEVATION
A4.1 3/32" = 1'-0"

MRS TENANT IMPROVEMENTS
 Lot 118, Lakewood Corporate Park South
 BUILDING ELEVATIONS

2610 Lake Cook Road
 Suite 200
 Riverwoods, IL 60015
 Ph: (847) 940-0300
 Fax: (847) 940-1905

Partners in Design
 ARCHITECTS



PROJECT NO.: 43715-050
 DRAWN BY: JJH CHECKED BY: WHB
 DATE: 04.24.15

SHEET NO.: A4.1

- E. Consider the request of Erik Waslrick on behalf of Jean and Norma Brown for approval of a **Certified Survey Map** to subdivide the property located at 2629 89th Street.

Recommendation: Village staff recommends that the Plan Commission send a favorable recommendation to the Village Board to approve the **Certified Survey Map** subject to the comments and conditions presented in the Village Staff Report of May 11, 2015.

VILLAGE STAFF REPORT OF MAY 11, 2015

Consider the request of Erik Waslrick on behalf of Jean and Norma Brown for approval of a **Certified Survey Map** to subdivide the property located at 2629 89th Street.

The petitioner is requesting to subdivide the property located at 2629 89th Street into two (2) parcels. The property is currently zoned R-4, Urban Single Family Residential which requires lots to have a minimum frontage of 90 feet on a public road and a minimum lot area of 15,000 square feet.

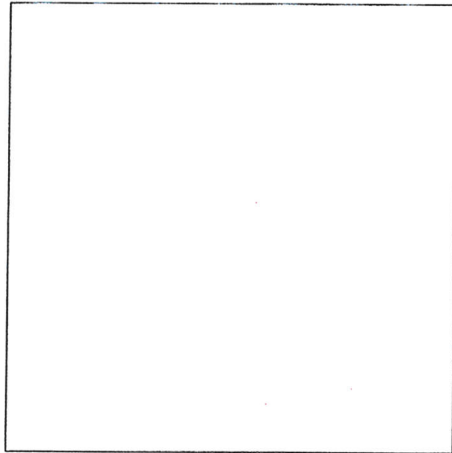
Parcel 1 is proposed to be 55,919 square feet with more than 300 feet of frontage on 29th Avenue. A new home is proposed to be constructed on this property directly north of the home at 8929 29th Avenue (CSM 26). This new home will be required to connect to municipal sanitary sewer on 29th Avenue and since there is no water in the area the new home will need to install a well.

Parcel 2 is proposed to be 119,924 square feet with 186 feet of frontage on 89th Street. The existing home and outbuildings on the property will remain.

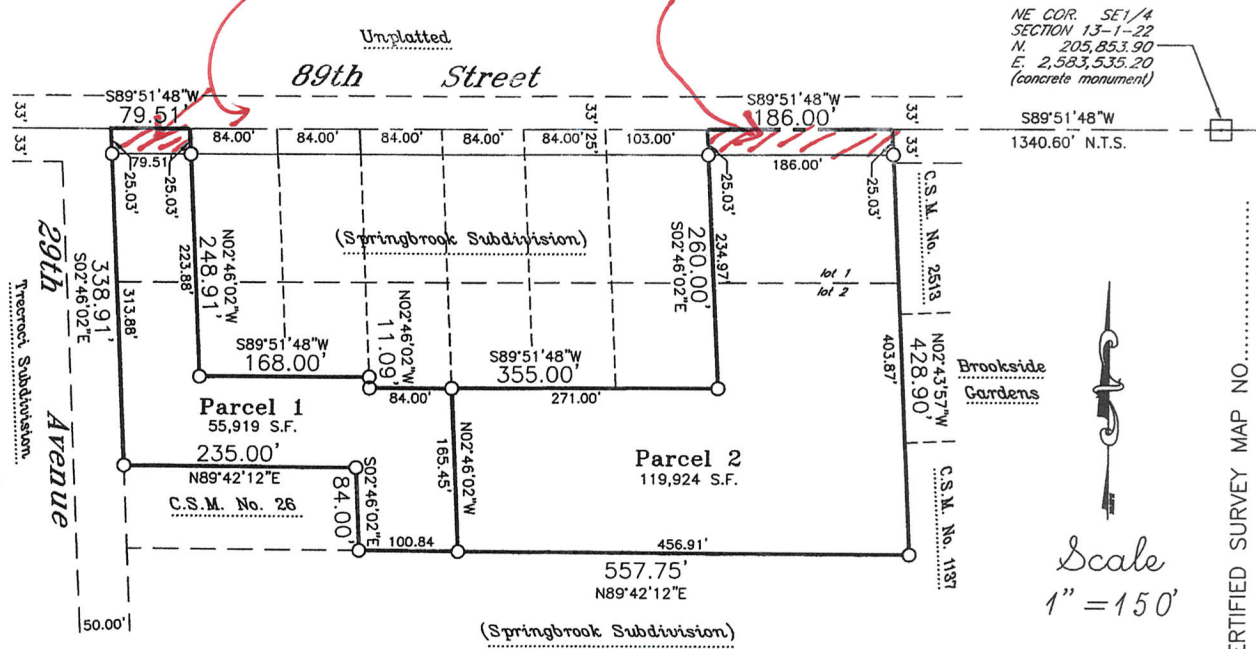
The proposed land division conforms with the Zoning requirements, Land Division and Development Control Ordinance and the Village's Comprehensive Land Use Plan.

The Village staff recommends approval of the CSM subject the above comments and the following conditions:

1. The CSM shall be revised to as shown on the ***attached***.
2. Any deferred/outstanding special assessments or outstanding taxes shall be paid prior to recording the CSM.
3. Impact fees are only due when a new home is constructed.
4. The original CSM shall be executed by the property owner and submitted to the Village for signatures.
5. The CSM shall be executed by all parties and recorded at the Kenosha County Register of Deeds Office within 30 days of Village Board approval.



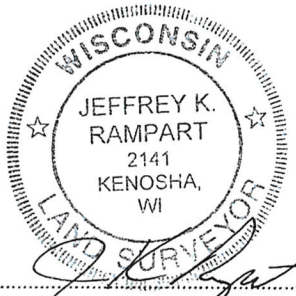
Dedicated Public Street



CERTIFIED SURVEY MAP NO.

SHEET ONE OF TWO SHEETS

J.K.R. SURVEYING, INC.
8121 22ND AVENUE KENOSHA, WI. 53143
phone 262-652-8110 fax 262-652-9695



WISCONSIN REGISTERED LAND SURVEYOR
JEFFREY K. RAMPART

Dated April 24, 2015

OWNER

Jean Brown
2629 - 89th Street
Pleasant Prairie, WI 53158

denotes 1" x 2' iron pipe
(weight: 1.13 lbs per foot)

Lots shown hereon shall be
served by public sanitary sewer.

Bearings refer to grid
north, state plane coordi-
nate system south zone.

CERTIFIED SURVEY MAP

- for -

Jean Brown

(Re-division of Part of Lots 1 & 2 in
Springbrook Subdivision)

in SE 1/4 Section 13-1-22

VILLAGE OF PLEASANT PRAIRIE
KENOSHA COUNTY, WIS.



Filed 4/24 2015
 Fee Paid 4/24 2015
 PC Meeting Date 5/11 2015
 VB Meeting Date 5/18 2015
 Approved _____ 20____
 Denied _____ 20____

**VILLAGE OF PLEASANT PRAIRIE
 CERTIFIED SURVEY MAP APPLICATION**

To: Village Plan Commission & Village Board of Trustees of the Village of Pleasant Prairie:

I, (We), the undersigned owner(s)/agent do hereby petition the Village Board to amend the Village of Pleasant Prairie Zoning Map as hereinafter requested.

It is petitioned that the following described property be subdivided with a Certified Survey Map (CSM)

The property petitioned to be subdivided is located at: 2629-89th Street
 and is legally described as follows: see attached

Tax Parcel Number(s): 91 4 122 134 0750

- The property abuts or adjoins a State Trunk Highway Yes No
- The property abuts or adjoins a County Trunk Highway Yes No
- Municipal Sanitary Sewer is available to service said properties Yes No
- Municipal Water is available to service said properties Yes No

I (We), have contacted the Community Development Department to arrange a pre-application meeting to discuss the proposed request with the Village staff to determine additional information that may be needed to consider the request.

I, (We), hereby certify that all the above statements and attachments submitted herewith are true and correct to the best of my knowledge.

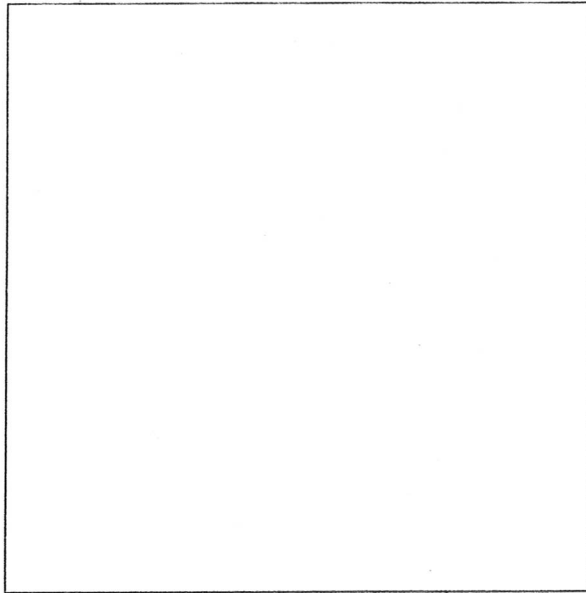
PROPERTY OWNER:

Print Name: Norma A. Brown
Jean H Brown
 Signature: Jean H Brown
Norma A. Brown
 Address: 2629-89th St.
Kenosha WI 53143
 (City) (State) (Zip)
 Phone: 262-694-5830
 Fax: _____
 Date: 4-24-15

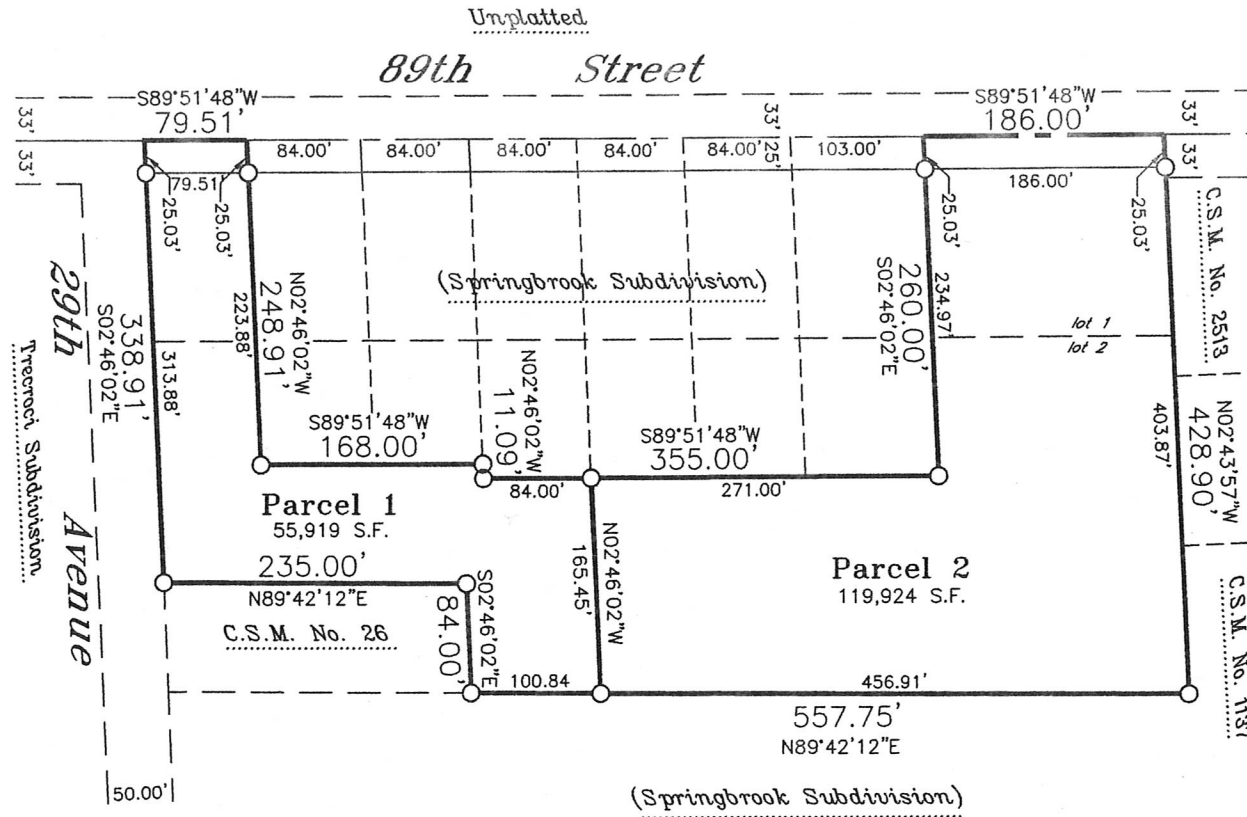
OWNER'S AGENT:

Print Name: Eric Wasvick
 Signature: Eric Wasvick
 Address: 2028 Grove Ave
Acme WI 53405
 (City) (State) (Zip)
 Phone: 262 620 2989
 Fax: _____
 Date: 4-24-15

ericwasvick@yahoo.com

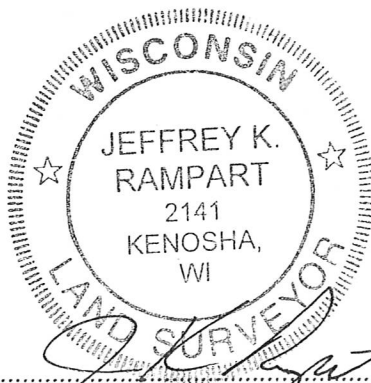


NE COR. SE1/4
SECTION 13-1-22
N. 205,853.90
E. 2,583,535.20
(concrete monument)



Scale
1" = 150'

J.K.R. SURVEYING, INC.
8121 22ND AVENUE KENOSHA, WI. 53143
phone 262-652-8110 fax 262-652-9695



WISCONSIN REGISTERED LAND SURVEYOR
JEFFREY K. RAMPART

Dated... April 24, 2015

OWNER
Jean Brown
2629 - 89th Street
Pleasant Prairie, WI 53158

denotes 1" x 2' iron pipe
(weight: 1.13 lbs per foot)

Lots shown hereon shall be
served by public sanitary sewer.

Bearings refer to grid
north, state plane coord-
inate system south zone.

CERTIFIED SURVEY MAP

- for -

Jean Brown

(Re-division of Part of Lots 1 & 2 in
Springbrook Subdivision)

in SE1/4 Section 13-1-22

VILLAGE OF PLEASANT PRAIRIE
KENOSHA COUNTY, WIS.

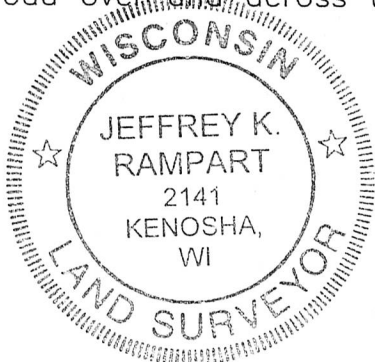
CERTIFIED SURVEY MAP NO.

SHEET ONE OF TWO SHEETS

CERTIFIED SURVEY MAP

I, JEFFREY K. RAMPART, SURVEYOR, hereby certify that I have prepared this certified survey map, the exterior boundaries of which are described as:

Part of Lots 1 and 2 in Springbrook Subdivision, a plat on file and of record in Kenosha County Land Registry; lying and being in part of the Southeast Quarter of Section 13, Town 1 North, Range 22 East of the Fourth Principal Meridian; lying and being in the Village of Pleasant Prairie, Kenosha County, Wisconsin; being more particularly described as: Commencing at the northeast corner of said quarter section; thence S89°51'48"W along the north line of said quarter section 1340.60 feet to the northeast corner of Lot 1 in said Springbrook Subdivision and to the point of beginning; thence continue S89°51'48"W along said north line 186.00 feet; thence S02°46'02"E 260.00 feet; thence S89°51'48"W parallel to the north line of said quarter section 355.00 feet; thence N02°46'02"W 11.09 feet; thence S89°51'48"W parallel to said north line 168.00 feet; thence N02°46'02"W 248.91 feet to said north line; thence S89°51'48"W along said north line 79.51 feet to the northwest corner of said Lot 1; thence S02°46'02"E 338.91 feet to the northwest corner of Certified Survey Map No. 26, a plat of record; thence N89°42'12"E 235.00 feet to the northeast corner of said certified survey map; thence S02°46'02"E 84.00 feet to the southeast corner of said certified survey map and the south line of Lot 2 in aforesaid Springbrook Subdivision; thence N89°42'12"E along said south line 557.75 feet to the southeast corner of said Lot 2; thence N02°43'57"W 428.90 feet to the northeast corner of said Lot 1 and the north line of said quarter section and to the point of beginning; subject to a public road over and across the northerly portion thereof.



That I have complied with the provisions of chapter 236.34 of the State Statutes on certified surveys and the Village of Pleasant Prairie Land Division and Platting Ordinance.

Dated this ..24th.. day ofApril....., 2015

SURVEYOR.....*J. K. Rampart*.....
JEFFREY K. RAMPART

As owner, I hereby certify that I caused the land described on this plat to be surveyed, divided, dedicated and mapped as represented on this plat.

OWNER.....
JEAN BROWN
PRINT NAME.....

STATE OF WISCONSIN
KENOSHA COUNTY S.S.

Personally came before me this day of, 20___, the above named Jean Brown, to me known to be the person who executed the foregoing instrument and acknowledged the same.

My Commission Expires.....
NOTARY PUBLIC
PRINT NAME.....

This certified survey map has been submitted to and approved by the Village Board of the Village of Pleasant Prairie on this day of, 20___.

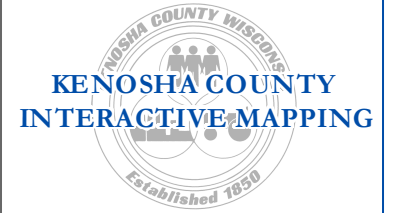
.....
PLAN COMMISSION CHAIRMAN,
Thomas W. Terwall
PRINT NAME.....

.....
VILLAGE CLERK, Jane M. Romanowski
PRINT NAME.....

APPROVED.....
VILLAGE PRESIDENT, John P. Steinbrink
PRINT NAME.....

OWNER
.....
Jean Brown
2629 - 89th Street
Pleasant Prairie, WI 53158

General Location Map - 2629 89th St



Legend

-  Street Centerlines
-  Right-of-Ways
-  Water Features
-  Parcels



DISCLAIMER This map is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, data and information located in various state, county and municipal offices and other sources affecting the area shown and is to be used for reference purposes only. Kenosha County is not responsible for any inaccuracies herein contained. If discrepancies are found, please contact Kenosha County.

Date Printed: 5/7/2015

- F. Consider the request of Ronald and Debra Hessil for approval of a **Lot Line Adjustment** to add 30.03 feet from the vacant property (owned by Associates LLC-William Kant agent) to the rear of the 3514 93rd Street property (owned by Daniel and Teresa Cole) and the 3516 93rd Street property (owned by Ronald and Debra Hessil).

Recommendation:

Village staff recommends that the Village Plan Commission send a favorable recommendation to the Village Board to approve the **Lot Line Adjustment** subject to the comments and conditions of the May 11, 2015 Village Staff Report.

VILLAGE STAFF REPORT OF MAY 11, 2015

Consider the request of Ronald and Debra Hessil for approval of a **Lot Line Adjustment** to add 30.03 feet from the vacant property (owned by Associates LLC-William Kant agent) to the rear of the 3514 93rd Street property (owned by Daniel and Teresa Cole) and the 3516 93rd Street property (owned by Ronald and Debra Hessil).

The property located at 3514 93rd Street and further identified as Tax Parcel Number 92-4-122-133-0240) owned by Daniel and Teresa Cole and the property located at 3516 93rd Street and further identified as Tax Parcel Number 92-4-122-133-0235) owned by Ronald and Debra Hessil are proposed to be adjusted with the vacant property to the north (Lot 1 of CSM 2447) identified as Tax Parcel Number 91-4-122-133-0231 owned by Associates LLC-William Kant agent.

Specifically, 30.03 feet is being added to the rear of both of the properties at 3514 and 3516 93rd Street from the vacant property to the north. Both properties are zoned R-4, Urban Single Family Residential District which require lots to be a minimum of 15,000 square feet. After the adjustment both lots, as well as the lot to the north will continue to meet the minimum lot area of the R-4 District.

The Lot Line Adjustment and will comply with the requirements set forth in the Village Zoning Ordinance and Land Division and Development Control Ordinance.

The Village staff recommends approval of the Lot Line Adjustment subject to the petitioners recording the proper transfer documents with the Plat of Survey for the Lot Line Adjustment as an Exhibit with the Kenosha County Register of Deeds Office within 30 days of final Village approval.

RECEIVED
MAY 01 2015

BY: _____

Ronald & Debra Hessil
3516 93rd Street
Pleasant Prairie, Wisconsin 53158
March 22, 2015
Associates LLC
9129 Dunkelow Rd
Franksville, Wisconsin 53126

Dear Seller:

The purpose of this letter is to set forth some of the basic terms and conditions of the proposed purchase by the undersigned (the "Buyer") of certain real estate owned by you (the "Seller"). The terms set forth in this Letter will not become binding until a more detailed "Purchase Agreement" is negotiated and signed by the parties, as contemplated below by the section of this Letter entitled "Non-Binding."

1. DESCRIPTION OF PROPERTY. The property proposed to be sold is located at 93rd Street, Pleasant Prairie, Wisconsin and is legally described as Wish to purchase 30.03 feet along the south edge of the parcel 91-4-122-133-0231 adjacent to our property and 160.71 feet of our property and the property east of us. This would make all the property lines the same across.

The Real Estate is subject to public highways, covenants, restrictions and zoning, if any.

2. PRICE. The proposed purchase price is \$2,800.00, of which \$500.00 would be deposited with Seller, or Sellers agent, upon acceptance of a binding Purchase Agreement. Buyer would pay the balance to Seller at closing.

3. POSSESSION. Possession would be given on May 01, 2015, or sooner by mutual agreement. Settlement would be made at the closing, immediately prior to possession.

4. INSPECTION. After the final acceptance of a binding Purchase Agreement, Buyer may have the Real Estate inspected by a person of Buyer's choice to determine if there are any structural, mechanical, plumbing or electrical deficiencies, structural pest damage or infestation, any unsafe conditions or other damage, including the presence of radon gas, any lead-based paint hazards, and inspections for other conditions that are customary to the locality and/or that are required by law.

5. STANDARD PROVISIONS. The Purchase Agreement will include the standard provisions that are customary to the locality and/or that are required by law.

6. NON-BINDING. This Letter of Intent does not, and is not intended to, contractually bind the parties, and is only an expression of the basic conditions to be incorporated into a binding Purchasing Agreement. This Letter of Intent does not address all of the essential terms of any potential Purchase Agreement. This Letter does not require either party to negotiate in good faith or to proceed to the completion of a binding Purchase Agreement. The parties shall not be contractually bound unless and until they enter into a formal, written Purchase Agreement, which must be in form and content satisfactory to each party and to each party's legal counsel, in their sole discretion. Neither party may rely on this Letter as creating any legal obligation of any kind; neither party has taken or will take any action in reliance on this non-binding Letter of Intent, whether a contract claim, a claim for reliance or

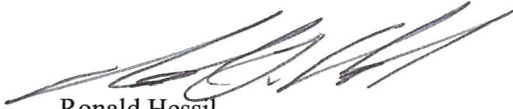
estoppel (such as a claim for out-of-pocket expenses incurred by a party), or a claim for breach of any obligation to negotiate in good faith.

7. CONFIDENTIALITY. Buyer and Seller agree to make good faith efforts to hold any pricing terms, negotiations, and any other confidential information in confidence and will not disclose this information to any person or entity without prior written consent from either party.

If you would like to discuss a sale of the Real Estate with the undersigned on these general terms, please sign and return a copy of this Letter of Intent to the undersigned by April 10, 2015.

The above Letter reflects our mutual understanding and sets forth the basis for proceeding to negotiate a Purchase Agreement as outlined above.

8. Reason, our reason for this is to show you are interest is true. We have spoken many times but never moved forward. We wish to be able to build a shed that is currently your property, along with putting up a fence for our dogs. This would be an all cash sale, we would also pay for any surveys needed and closing cost.



Ronald Hessil

Email Rhessil@sbcglobal.net

Fax 262-657-1037

Phone 262-515-1746

Conceptually agree to the terms set forth in this letter.

by Werner Kant
Werner Kant
Agent for Associates LLC
5/10/15

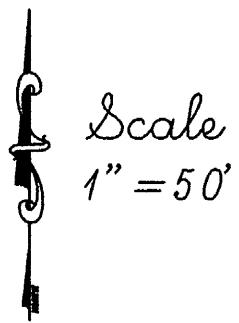
The Plat of Survey for Lot Line Adjustment is hereby approved by the Village Board of The Village of Pleasant Prairie on the _____ day of _____, 2015.

PLAN COMMISSION CHAIR, Thomas W. Terwall

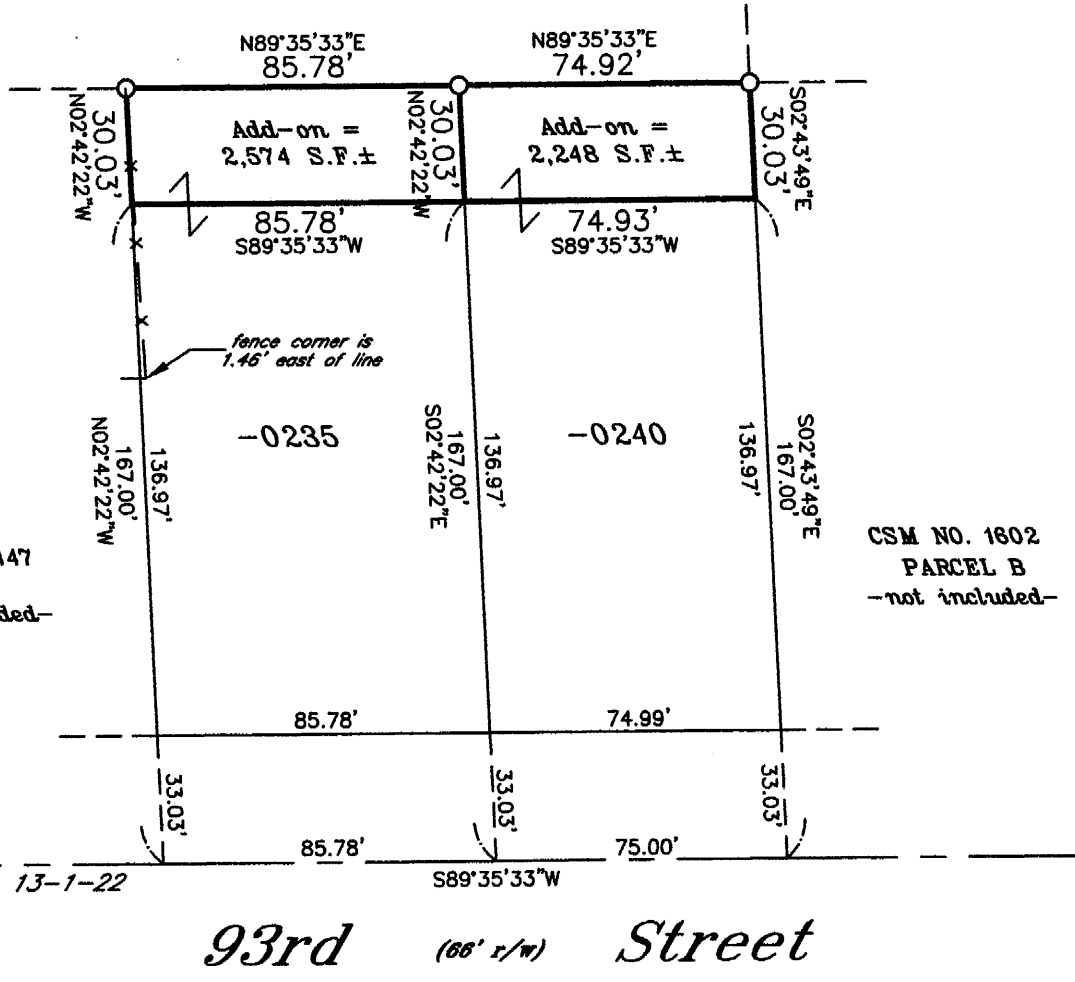
VILLAGE CLERK, Jane M. Romanowski

VILLAGE PRESIDENT, John P. Steinbrink

LOT I CSM NO. 2447
 REMAINDER (excepting add-on parcels)
 391,167 S.F. (8.97 Acres±)
 91-4-122-133-0231



Bearings refer to grid north, state plane coordinate system south zone.

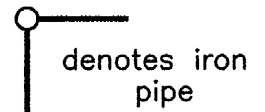


LEGAL DESCRIPTIONS FOR LOT LINE ADJUSTMENTS:

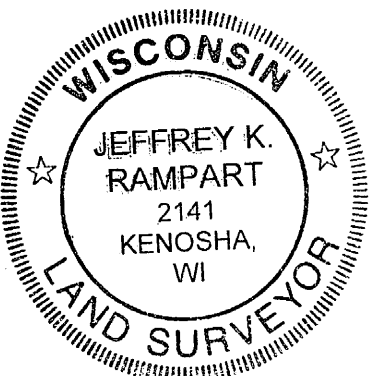
PARCEL TO BE DETACHED FROM LOT I OF CERTIFIED SURVEY MAP NO. 2447 (TAX KEY NO: 91-4-122-133-0231) AND ADD-ON PARCEL TO TAX KEY NO: 91-4-122-133-0235: Part of Lot I of Certified Survey Map No. 2447, a plat on file and of record in the Kenosha County Land Registry; lying and being in part of the Southwest Quarter of Section 13, Town 1 North, Range 22 East of the Fourth Principal Meridian; lying and being in the Village of Pleasant Prairie, Kenosha County, Wisconsin and being more particularly described as: Commencing at the southwest corner of said quarter section; thence N89°35'33"E along the south line of said quarter section 897.33 feet; thence N02°42'22"W 167.00 feet to the point of beginning; thence continue N02°42'22"W 30.03 feet; thence N89°35'33"E parallel to the south line of said quarter section 85.78 feet; thence S02°42'22"E 30.03 feet; thence S89°35'33"W parallel to said south line 85.78 feet to the point of beginning; containing 2,574 square feet, more or less.

PARCEL TO BE DETACHED FROM LOT I OF CERTIFIED SURVEY MAP NO. 2447 (TAX KEY NO: 91-4-122-133-0231) AND ADD-ON PARCEL TO TAX KEY NO: 91-4-122-133-0240: Part of Lot I of Certified Survey Map No. 2447, a plat on file and of record in the Kenosha County Land Registry; lying and being in part of the Southwest Quarter of Section 13, Town 1 North, Range 22 East of the Fourth Principal Meridian; lying and being in the Village of Pleasant Prairie, Kenosha County, Wisconsin and being more particularly described as: Commencing at the southwest corner of said quarter section; thence N89°35'33"E along the south line of said quarter section 983.11 feet; thence N02°42'22"W 167.00 feet to the point of beginning; thence continue N02°42'22"W 30.03 feet; thence N89°35'33"E parallel to the south line of said quarter section 74.92 feet; thence S02°43'49"E 30.03 feet; thence S89°35'33"W parallel to said south line 74.93 feet to the point of beginning; containing 2,248 square feet, more or less.

Refer to a current title report for easements or restrictions which may affect these sites.



J.K.R. SURVEYING, INC.
 8121 22ND AVENUE
 KENOSHA, WI 53143



I hereby certify that this property was surveyed under my direction and this plat is a true representation thereof.

[Signature]
 Reg. Land Surveyor
 April 28, 2015

Plat of Survey for Lot Line Adjustment

BETWEEN TAX KEY NOS:

91-4-122-133-0231, -0235 & 0240

in SW1/4 Section 13-1-22

VILLAGE OF PLEASANT PRAIRIE
 KENOSHA COUNTY, WIS.

-for-
 Ron Hessil